

From: [Amy Gunter](#)
To: [Regan Trapp](#); [Kyle Taylor](#); [Liz Hamilton](#); [April Lucas](#)
Subject: Final Plan for The Cottages at West Village
Date: Thursday, February 25, 2021 6:52:14 AM
Attachments: [zoning permit.pdf](#)
[2021-02-22 Final Plan Application Findings.pdf](#)
[Cottages at West Village-PH1-For Approval 2-23-21.pdf](#)
[EAST COTTAGES 24X36 Final Plan.pdf](#)

[EXTERNAL SENDER]

I see there is lots of review going on.

Let's add another!

Final Plan review for The Cottages at West Village - 12 residences, 13 lots.

The plan files are large and I've requested smaller formats.

Thanks!

Amy

Amy Gunter

Rogue Planning & Development Services

541-951-4020

www.rogueplanning.com

This communication, including any attachments hereto or links contained herein, is for the sole use of the intended recipient(s) and may contain information that is confidential or legally protected. If you are not the intended recipient, you are hereby notified that any review, disclosure, copying, dissemination, distribution or use of this communication is prohibited. If you have received this communication in error, please notify the sender immediately by return e-mail message and delete the original and all copies of the communication, along with any attachments from your system.

Received via email 2.25.2021



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # PA-T1-2021-00142

DESCRIPTION OF PROJECT FINAL Plan approval 13 lot. 12 unit Performance Standards Subdivision, inc.

DESCRIPTION OF PROPERTY Pursuing LEED® Certification? YES NO

Street Address COFFEE LANE

Assessor's Map No. 39 1E 05AD Tax Lot(s) 200

Zoning R-1-5-P Comp Plan Designation Single Family Residential

APPLICANT

Name Taylor Elements Construction Phone 541-690-1617 E-Mail office@taylorelements.com/kyle@taylorelements.com

Address 1236 Disk Drive, Suite A City Medford Zip 97501

PROPERTY OWNER

Name CMK Development LLC Phone 541-690-1617 E-Mail kyle@taylorelements.com

Address 1236 Disk Drive, Suite A City Medford Zip 97501

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title Engineer Name CEC Engineering Phone 541-779-5268 E-Mail tony@cecengineering.com

Address PO BOX 1724 City Medford Zip 97501

Title Landscape Design Name Kerry Kencairn Phone 541-488-3194 E-Mail kerry@kencairn.com

Address 545 A Street, Suite 3 City Ashland Zip 97520

Planning Consultant: Rogue Planning & Development Service; 33 N Central Avenue, Medford OR 97501

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

[Signature] 2/21/21
Applicant's Signature Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Kyle Taylor 2/21/21
Property Owner's Signature (required) Date

[To be completed by City Staff]

Date Received Emailed 2.25.2021 Zoning Permit Type Type 1 Filing Fee \$ _____

OVER ►►

Received via email 2.25.2021

CMK DEVELOPMENT, LLC

The Cottages at West Village

Final Plan



ROGUE PLANNING & DEVELOPMENT SERVICES, LLC

Received via email 2.25.2021

February 23, 2021

**The Cottages at West Village Subdivision
Final Plan**

Property Owner: CMK Properties LLC
1236 Disk Drive, Suite A
Medford, OR 97501

Engineer: CEC Engineering
Tony Bakke
PO BOX 1724
Medford, OR 97501

Surveyor: L.J. Friar & Associates P.C.
2714 North Pacific Highway
Medford, OR 97501

Site Planning: Kencairn Landscape Architecture
545 A Street, Suite 3
Ashland, OR 97520

Planning Consultant: Rogue Planning & Development Services, LLC
Amy Gunter
1314-B Center Dr., PMB #457
Medford, OR 97501

Subject Property

Map & Tax Lot: 39 1E 050AD; Tax Lot 200

Comprehensive Plan Designation: Single Family Residential

Zoning: R-1-7.5
Adjacent Zones: R-1-5; HC (Healthcare); E-1 and R-3

Overlay Zones: Performance Standards
Wildfire Overlay

Proposal:

The request is for Final Plan approval of Performance Standards Subdivision development of a 12-unit Cottage House Development, The Cottages at West Village, within the larger West Village Subdivision.

Background:

The Cottages at West Village Outline Plan was approved in December 2020 (PA-T2-2020-00021).

The request is for Final Plan review of the previously approved Site Design Review, and Outline Plan review for a 13-lot, 12-unit Performance Standards Subdivision in accordance with Ashland Municipal Code (AMC) 18.2.3.090 and 18.3.9, for a Cottage House Subdivision.

The Cottages at West Village are proposed as 740 square foot, two-bedroom, one bath structures. Each unit is proposed to have a covered entry stoop. The units are proposed with an open floor plan. All units are proposed to include many of the Lifelong Housing Certification features and will work towards Lifelong Housing Certification. All units are proposed to meet Earth Advantage Energy Standards and will be certified as Earth Advantage Silver. The installation of solar panels allows the development to have net metering and will be very low energy usage and their small footprint and drought tolerant landscaping allows for minimal water consumption.

Conditions 1 – 6 from the approval of the Outline Plan have been addressed on the Site Plans, Landscape and Irrigation Plans and Civil Plans. The proposed Civil Plans engineering plan set have been submitted to the Public Works Department for review and approval.

No substantial changes have been made excepting that Otis Street is now named Coffee Lane. Addressing is being assigned by Public Works.

Thank you for your consideration.

On the following pages, findings of fact addressing the criteria from the Ashland Municipal Code are provided. For clarity, the criteria are in Times New Roman font and the applicant's responses are in Calibri font.

FINDINGS OF FACT

PERFORMANCE STANDARDS SUBDIVISION

18.3.9.040.B.5. - Final Plan Approval Criteria

Final Plan approval shall be granted upon finding of substantial conformance with the Outline Plan. This substantial conformance provision is intended solely to facilitate the minor modifications from one planning step to another. Substantial conformance shall exist when a comparison of the outline plan with the final plan meets all of the following criteria.

Finding:

The proposed Final Plan application for The Cottages at West Village, a 12-cottage unit, Performance Standards Subdivision. The site and landscape plans demonstrate substantial conformance with the Outline Plan and Site Design Review. The 37,541 square foot property is zoned single family residential. The density of the property allows 12 cottage units. The proposal Final Plan submittal complies with the standards.

- a. The number of dwelling units vary no more than ten percent of those shown on the approved outline plan, but in no case shall the number of units exceed those permitted in the outline plan.

Finding:

The Final Plan for The Cottages at West Village Subdivision proposes 12 single-family residential cottage lots and an open space parcel.

There are no changes in the number of dwelling units.

- b. The yard depths and distances between main buildings vary no more than ten percent of those shown on the approved outline plan, but in no case shall these distances be reduced below the minimum established within this Ordinance.

Finding:

No changes to yard depths or distances, between the structures and to the perimeter setbacks have been proposed.

- c. The open spaces vary no more than ten percent of that provided on the outline plan.

Finding:

The location and area of the open spaces is the same on the Outline Plan submittals. The lot area requires 7,508.2 square feet of common open space areas. A total of 8,794 square feet of area is provided as common space. This is provided in two areas. The main common open space is on the south side of the site, consisting of two larger lawn areas connected by 20-foot-wide spaces

including pedestrian walkways that link the two lawn areas together. This common area is 7,370 square feet in area. The open spaces provide a common amenity for the residents of The Cottages at West Village Subdivision. The open space will be permanently set aside for the use of the residents.

The common open space area does not have any dimension of less than 20-feet.

The site plan demonstrates that each unit also has 200 square feet of private open space areas, no dimensions of the useable, private open space are less than eight feet in area. There will be a clear delineation of the private open space from the common open space through the installation of fencing that is not more than four feet of solid panel fencing. All common areas and cottage units are connected to and through the development and the common open space with five-foot wide walkways.

d. The building size does not exceed the building size shown on the outline plan by more than ten percent.

Finding:

The building sizes are limited for the cottages lots. There are no changes from the outline plan approval for the locations, sizes, setbacks, or area.

e. The building elevations and exterior materials are in conformance with the purpose and intent of this ordinance and the approved outline plan.

Finding:

The proposed conceptual elevations provided with the Outline Plan Submittals for two types of small cottage units. The proposed residences, at the time of individual building permit, the plans will again demonstrate compliance with the heights, standard setbacks, confirmation of compliance with the solar setback standards.

f. That the additional standards which resulted in the awarding of bonus points in the outline plan approval have been included in the final plan with substantial detail to ensure that the performance level committed to in the outline plan will be achieved.

Finding:

No density bonuses apply to cottage developments. The proposed units will be developed to similar energy standards as the proposed Earth Advantage units proposed in the West Village Subdivision. The solar panels will allow for net metering to achieve limited electrical consumption.

g. The development complies with the Street Standards.

Finding:

The proposed development is accessed via a driveway that extends from the new street, Coffee Lane. This street has been developed to city standards with asphalt travel lanes, curb, gutter, park row and sidewalk.

Cottage housing developments are not required to provide a public street dedication when pedestrian connectivity through the site to adjacent properties is provided and adequate vehicular access is provided. See findings above addressing block length.

h. Nothing in this section shall limit reduction in the number of dwelling units or increased open space provided that, if this is done for one phase, the number of dwelling units shall not be transferred to another phase, nor the open space reduced below that permitted in the outline plan.

Finding:

The proposal is consistent with the layout, dimensions, and the number of units approved thorough Outline Plan approval. The open spaces areas are shown on the Landscape Site Plans and are adequate areas. The proposed density of the property with 12 cottages is the maximum number of cottages house units allowed in the zone per the Cottage Housing Standards of the Ashland Municipal Code AMC 18.2.3.090.

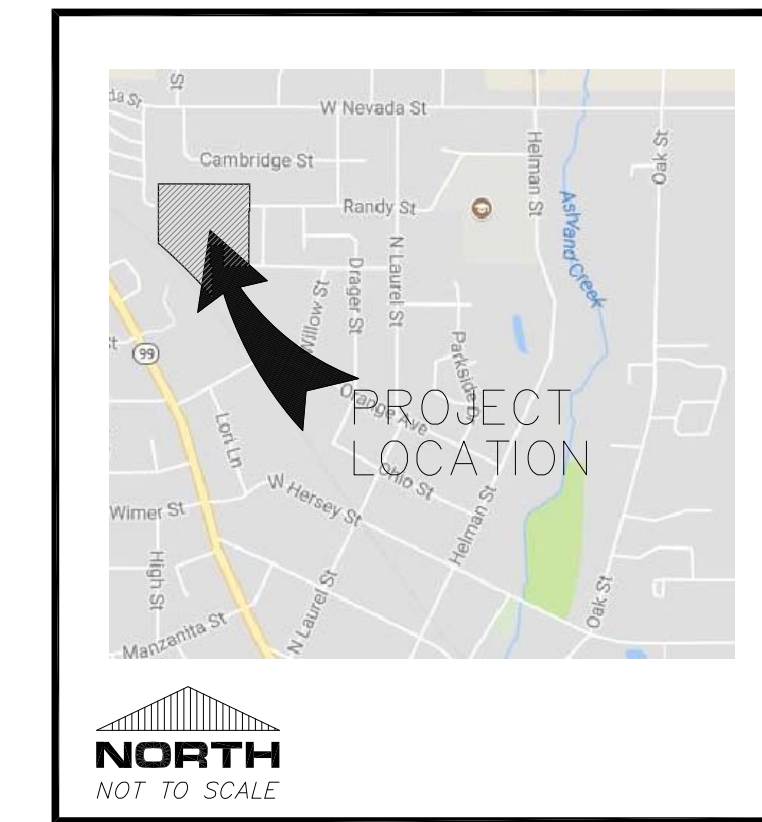
Attachments:

- A) West Village Subdivision Tentative Plat (The Cottages at West Village inset)
- B) The Cottages at West Village Subdivision approved Civil Improvement Plans
- C) The Cottages at West Village Subdivision Landscape and Irrigation Plans
- D) Draft HOA and CC&Rs for West Village Subdivision

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE APWA/ODOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, OREGON CHAPTER, 2018 AND AS AMENDED BY THE CITY OF ASHLAND ENGINEERING DEPARTMENT.
2. STORM DRAIN PIPE SHALL BE AS INDICATED ON THE PROJECT PLANS. ONLY WHITE OR BLACK PIPE IS PERMITTED PER CITY STDS. PRIVATE STORM DRAIN PIPE (4", 6" & 8") SHALL BE PVC CONFORMING TO ASTM D-3034. EACH SERVICE TERMINATION POINT SHALL BE MARKED WITH A PAINTED 2" x 4" AND STORM DRAIN DETECTOR TAPE SHALL BE USED.
3. SANITARY SEWER PIPE SHALL BE PVC (ASTM D-3034). SANITARY SEWER LATERALS SHALL BE CONNECTED TO THE MAIN WITH A ONE PIECE PREFABRICATED SEWER WYE AND SHALL EXTEND 2' BEYOND THE P.U.E. EACH SERVICE TERMINATION POINT SHALL BE MARKED WITH A PAINTED GREEN 2" x 4". SANITARY SEWER DETECTOR TAPE SHALL BE USED. ONLY GREEN PIPE ALLOWED PER CITY STANDARDS.
4. CLASS "B" BACKFILL SHALL BE USED IN ALL TRENCHES WITHIN THE RIGHT OF WAY AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (PER CITY OF ASHLAND). CLASS "E" BACKFILL SHALL BE USED IN ALL TRENCHES UNDER ASPHALT.
5. GRANULAR MATERIALS SHALL BE OBTAINED FROM A CITY APPROVED SOURCE. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF THE MATERIAL SOURCE PRIOR TO ANY GRANULAR MATERIAL PLACEMENT. CONTRACTOR SHALL NOT CHANGE MATERIAL SOURCE WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
6. ALL STORM DRAIN CURB INLETS SHALL BE CITY OF ASHLAND TYPE 4A WITH A 4' CURB OPENING UNLESS OTHERWISE SPECIFIED ON THE PLANS.
7. ALL STORM DRAIN PIPES SHALL HAVE WATER-TIGHT JOINTS. PVC AND POLYPROPYLENE PIPE JOINTS SHALL CONFORM TO ASTM D-3212 (TESTABLE JOINTS). PRE-MANUFACTURED TEES SHALL BE USED FOR LATERALS CONNECTING TO NEW STORM DRAIN/SANITARY SEWER MAINS.
8. ALL WATER PIPE SHALL BE PER CURRENT CITY OF ASHLAND STANDARDS, BE FULLY RESTRAINED AND VISIBLY RECOGNIZABLE AS SUCH (EBAA MEGALUG OR APPROVED EQUAL).
 - a. PIPE: AWWA 21.51 DUCTILE IRON, CLASS 54, FULLY RESTRAINED JOINT UNLESS NOTED OTHERWISE.
 - b. FITTINGS: AWWA C116 OR C153 WITH "EBAA MEGALUGS" OR APPROVED EQUAL. ALL VALVES, FITTINGS, ETC. TO BE DOMESTIC. RESTRAIN ALL JOINTS UNLESS OTHERWISE NOTED ON PLANS.
 - c. THRUST BLOCKS: AT ALL ELBOWS AND TEES, ETC.
 - d. THE CITY SHALL INSTALL ALL WATER SERVICES INCLUDING THE TAP, SERVICE LINE & METER. THE CONTRACTOR SHALL INSTALL THE METER BOX, LID & ACCESSORIES.
 - e. THE OWNER SHALL ENTER INTO AN AGREEMENT WITH THE CITY TO STERILIZE ALL WATER SERVICES. COSTS FOR THIS WORK WILL BE BILLED BY THE CITY TO THE OWNER ON AN ACTUAL COST BASIS FOR LABOR, MATERIALS, EQUIPMENT RENTAL AND OVERHEAD.
 - f. CITY OF ASHLAND WATER DEPARTMENT FORCES WILL PREFORM PRESSURE TEST OF WATER SYSTEM.
 - g. ALL FIRE HYDRANTS SHALL BE KENNEDY K81-D.
 - h. CONTRACTOR SHALL FURNISH ENGINEER OF RECORD AND CITY WITH DATA ON ALL VALVES AND PIPE APPURTENANCES WITH THE AS-BUILTS.
9. SEPARATION OF SANITARY SEWER AND WATER MAINS SHALL BE IN ACCORDANCE WITH OREGON STATE HEALTH DIVISION RULES AND/OR AS MODIFIED BY THE CITY OF ASHLAND.
10. ALL GIVEN PIPE LENGTHS AND SLOPES ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
11. ALL WORK ON GRAVITY STORM DRAIN AND SANITARY SEWER SYSTEMS SHALL BEGIN AT THE LOWEST POINT AND PROCEED UPGRADE TO THE HIGHEST POINT. WORK SHALL NOT BEGIN ANYWHERE OTHER THAN THE LOWEST POINT. DO NOT LEAVE OUT SECTIONS OF THE SYSTEM AND RESTART AT A HIGHER POINT. CAP/PLUG SS DAILY DURING CONSTRUCTION.
12. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES ARE APPROXIMATE. THERE MAY EXIST UTILITIES THAT ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION.
13. CONTRACTORS AND SUBCONTRACTORS SHALL BE PREQUALIFIED WITH THE CITY OF ASHLAND ENGINEERING DEPARTMENT PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY OREGON UTILITY NOTIFICATION CENTER (1-800-332-2344) AND THE CITY OF ASHLAND ENGINEERING (541-488-5347) 48 HOURS PRIOR TO STARTING WORK.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE VARIOUS UTILITY COMPANIES REGARDING INSTALLATION AND/OR RELOCATION REQUIREMENTS FOR THEIR FACILITIES.
15. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
16. STABILIZATION FABRIC SHALL CONFORM TO ODOT 2018 SPECIAL PROVISIONS 02320.
17. POWER FACILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. SEE POWER PLANS PREPARED BY CITY OF ASHLAND ELECTRIC DEPARTMENT FOR DETAILED PLANS & SPECIFICATIONS.
18. BASIS OF BEARING: SEE TOPOGRAPHIC SURVEY, SHEET T.1
19. BENCHMARK: SEE TOPOGRAPHIC SURVEY, SHEET T.1

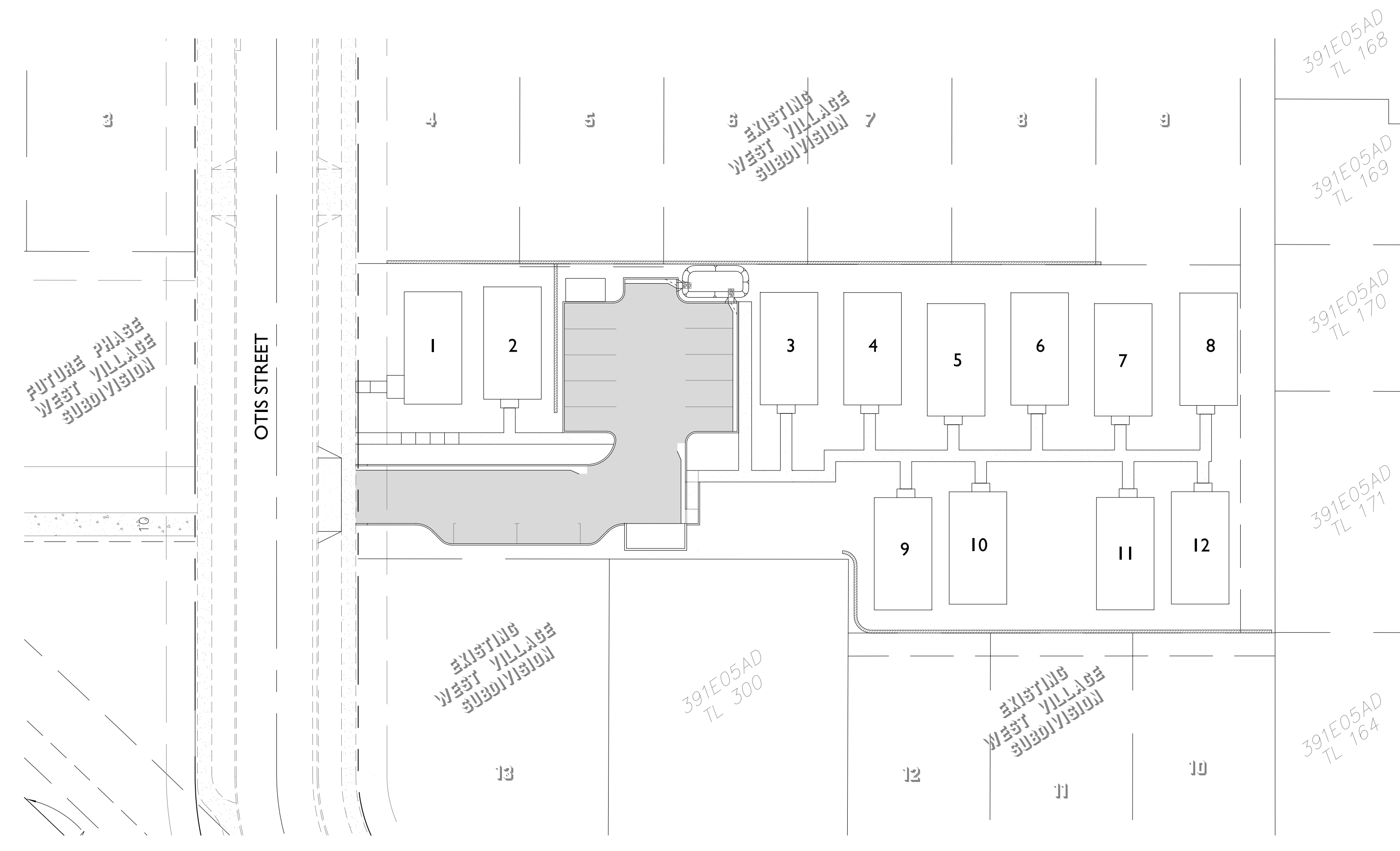
**CIVIL IMPROVEMENT PLANS
FOR
THE COTTAGES AT WEST VILLAGE
PHASE I
LOCATED IN
SECTION 5, T. 39 S., R. 1 E., W.M.
TAX LOT 200
CITY OF ASHLAND
JACKSON COUNTY, OREGON**



ASHLAND VICINITY MAP

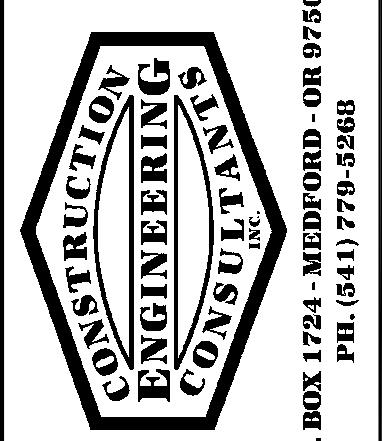
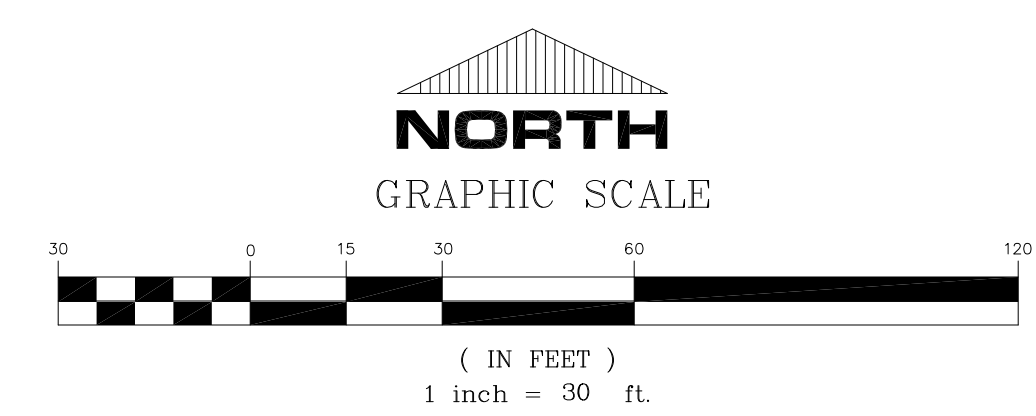
ABBREVIATIONS

- B/W = BACK OF WALK
- C.I. = CURB INLET
- CR = CURB RETURN
- FG = FINISH GRADE
- GB = GRADE BREAK
- G.I. = GUTTER INLET - RD364
- PC = POINT OF CURVE
- PRC = POINT OF REVERSE CURVE
- PT = POINT OF TANGENT
- PV = PAVEMENT
- R/W = RIGHT-OF-WAY
- SD = STORM DRAIN
- SDMH = STORM DRAIN MANHOLE
- S.I. = STREET INTERSECTION
- SS = SANITARY SEWER
- SS C.O. = SANITARY SEWER CLEANOUT
- SSMH = SANITARY SEWER MANHOLE
- TC = TOP OF CURB
- VC = VERTICAL CURVE
- W = WATER

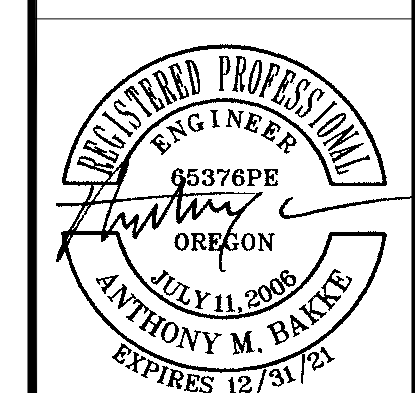


SITE INDEX MAP

TREE PROTECTION NOTE
THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE TREE PROTECTION PLAN PREPARED BY THE PROJECT LANDSCAPE ARCHITECT. ALL TREE PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. A PRE-CONSTRUCTION MEETING WITH THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO CONSTRUCTION.



DATE: 10/19	DATE: 10/19	DATE: 10/19	DATE: 10/19	DATE: 10/19	DATE: 10/19
DRAWN BY: BRD	CHECKED BY: AMB	AGENCY REVIEW:	AGENCY REVIEW:	APPROVED:	APPROVED:



CONTACT INFORMATION

ENGINEER OF RECORD: TONY BAKKE, P.E. C.E.C. ENGINEERING, INC. 132 W. MAIN ST., SUITE 103 MEDFORD, OR 97501 (541) 779-5268	CITY/ASHLAND PUBLIC WORKS: KARL JOHNSON ENGINEERING DIVISION 51 WINBURN WAY ASHLAND, OR 97520 (541) 552-2415	CABLE COMPANY: CHARTER COMMUNICATIONS ERIC CHASE 1341 CENTER DR., SUITE C MEDFORD, OR 97501 (541) 500-8992
SURVEYOR OF RECORD: JAMES HIBBS, PLS L.V. FRIAR & ASSOCIATES 2714 N. PACIFIC HWY MEDFORD, OR 97501 (541) 772-2782	ELECTRIC/AFN: DAVE TYGERSON CITY OF ASHLAND 90 NORTH MOUNTAIN ASHLAND, OR 97504 (541) 552-2389	GAS COMPANY: ERIK ENRIQUEZ AVISTA UTILITIES 580 BUSINESS PARK DR MEDFORD, OR 97504 (458) 225-4732
DEVELOPER/OWNER: KYLE TAYLOR PDK PROPERTIES, LLC 588 PARSONS DRIVE MEDFORD, OR 97501 (541) 690-1617	IRRIGATION: SHAYON HAYNES OREGON WATER RESOURCES DEPT. 10 S. OAKDALE AVE. MEDFORD, OR 97501 (541) 774-6883	TELEPHONE COMPANY: CAMERON DIBETTA CENTURY LINK 132 W. 4th STREET MEDFORD, OR 97501 (541) 324-0549

LEGEND

LINES	SYMBOLS
<ul style="list-style-type: none"> --- EX SD --- EXISTING STORM --- EX SS --- EXISTING SEWER --- EX W --- EXISTING WATER --- EX G --- EXISTING GAS --- EX P --- EXISTING POWER --- EX PH --- EXISTING PHONE --- EX TV --- EXISTING TV --- EX PVMNT --- EXISTING PVMNT --- EX C & G --- EXISTING C & G --- EX SIDEWALK --- EXISTING SIDEWALK --- EX DITCH --- EXISTING DITCH --- EX FENCE --- EXISTING FENCE 	<ul style="list-style-type: none"> ○ STORM MANHOLE ○ AREA DRAIN — PIPE PLUG ☒ CATCH/LYNCH BASIN ☒ UTILITY POLE/GUY WIRE ☒ STREET LIGHT ☒ TELEPHONE PEDESTAL ☒ POWER TRANSFORMER ☒ POWER SWITCHGEAR ☒ GAS VALVE ☒ STORM SERVICE

SHEET INDEX

COVER SHEET	A.1
ROADWAY SECTIONS & SPECIAL DETAILS	A.2
SITE / UTILITY PLAN	B.1-B.2
PRIVATE DRIVE PLAN & PROFILE	C.1
GRADING PLAN	D.1-D.2
GRADING SECTIONS	D.3
EROSION & SEDIMENT CONTROL PLAN	E.1-E.2
DETAIL SHEETS	F.1-F.2
TOPOGRAPHIC SURVEY	T.1

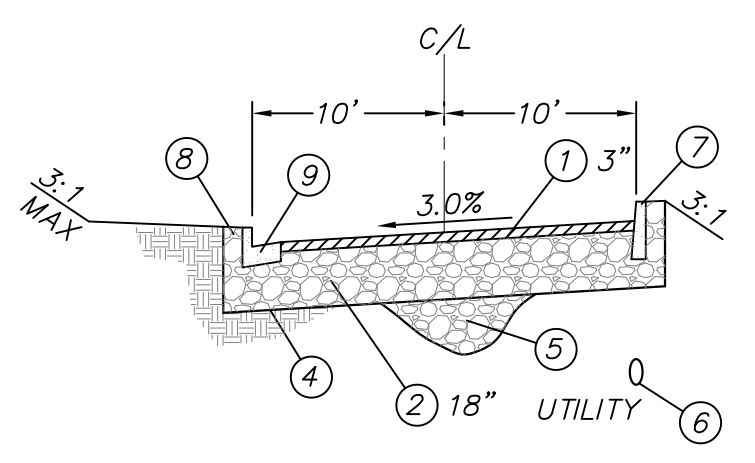
NO. REVISION DATE BY

CITY OF ASHLAND

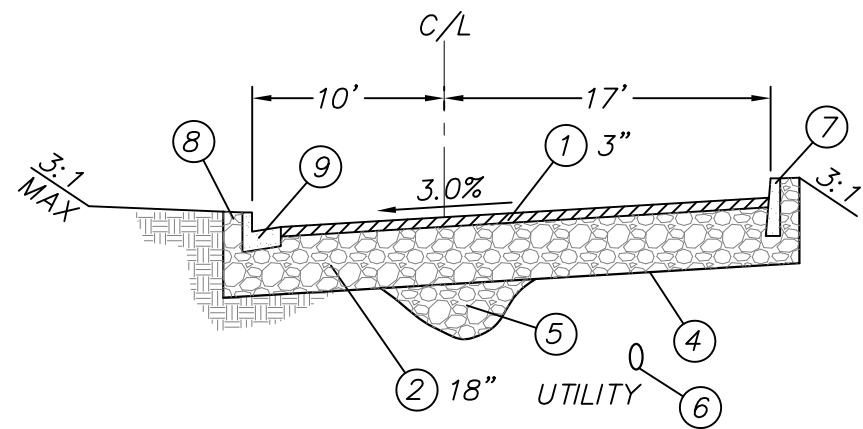
**THE COTTAGES AT WEST VILLAGE
PHASE I
CIVIL IMPROVEMENTS
COVER SHEET**

PROJECT NO. -
DRAWING NO. A.1

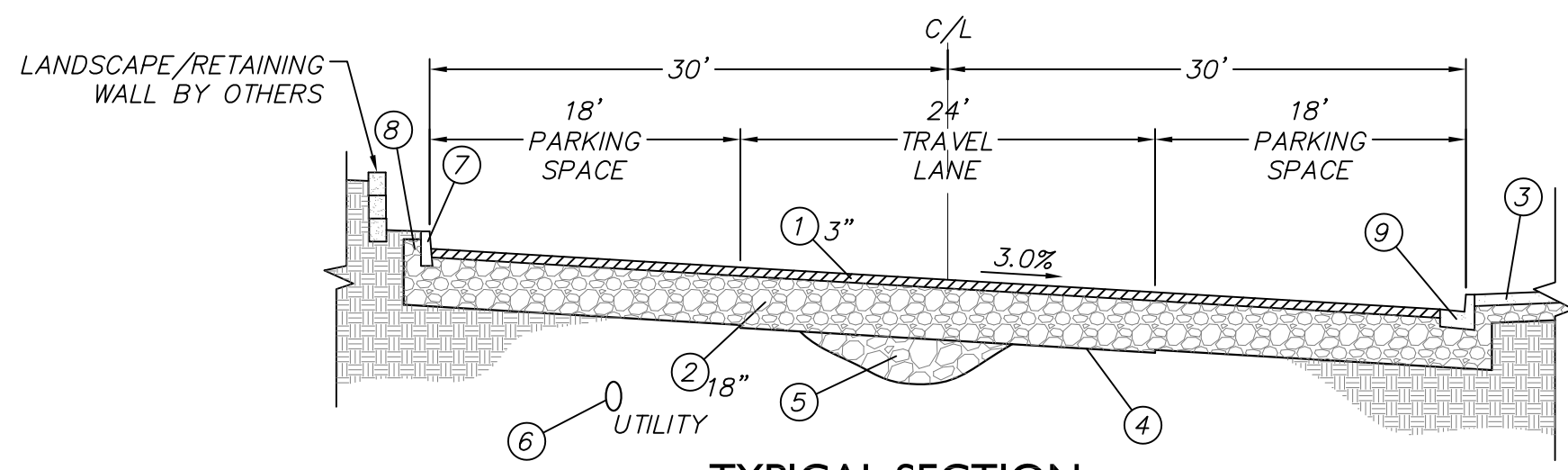
REVIEWED PUBLIC WORKS DIRECTOR: _____ DATE: _____



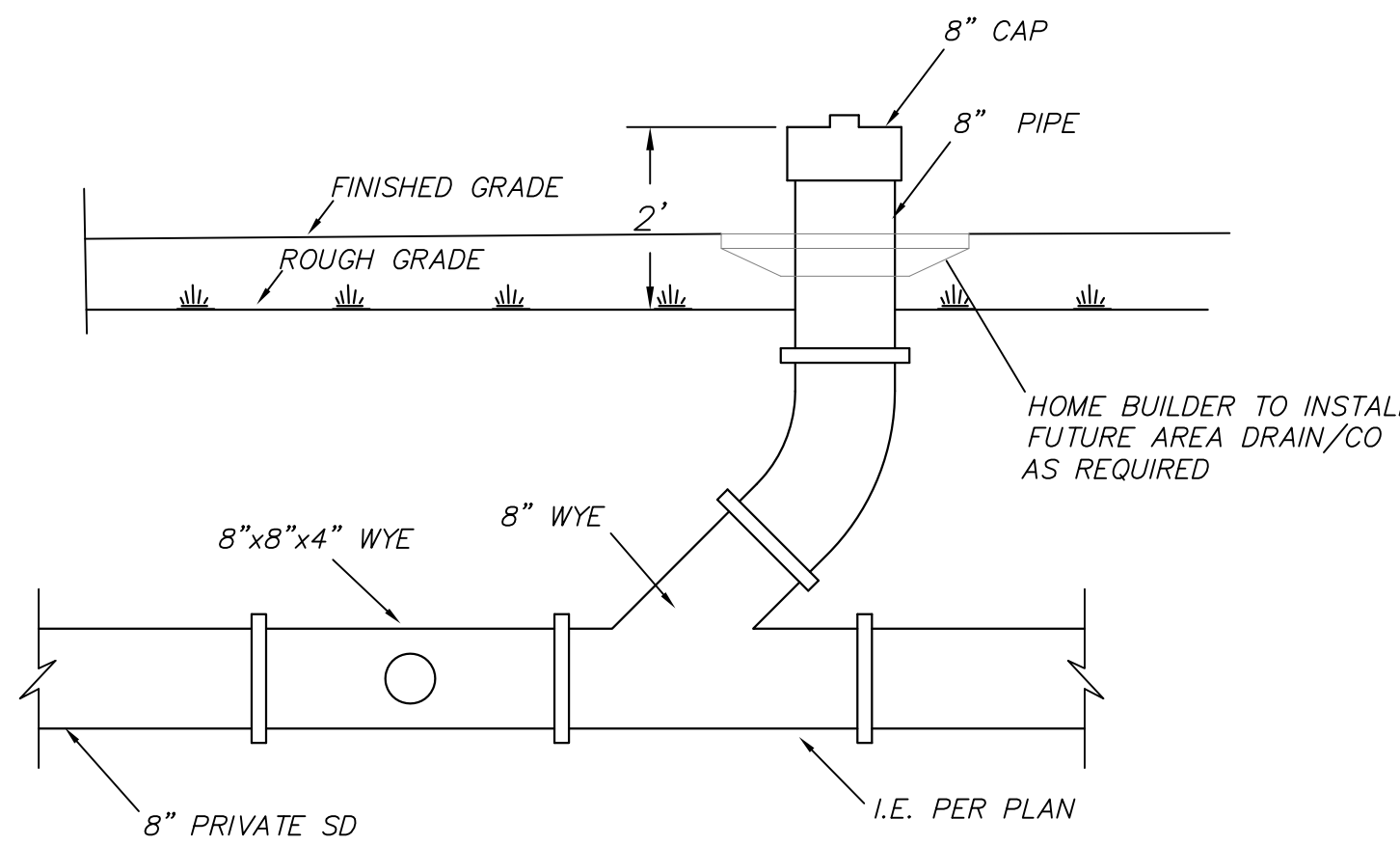
TYPICAL SECTION
PRIVATE DRIVE
(STA:45+27.50 TO 45+48.32)



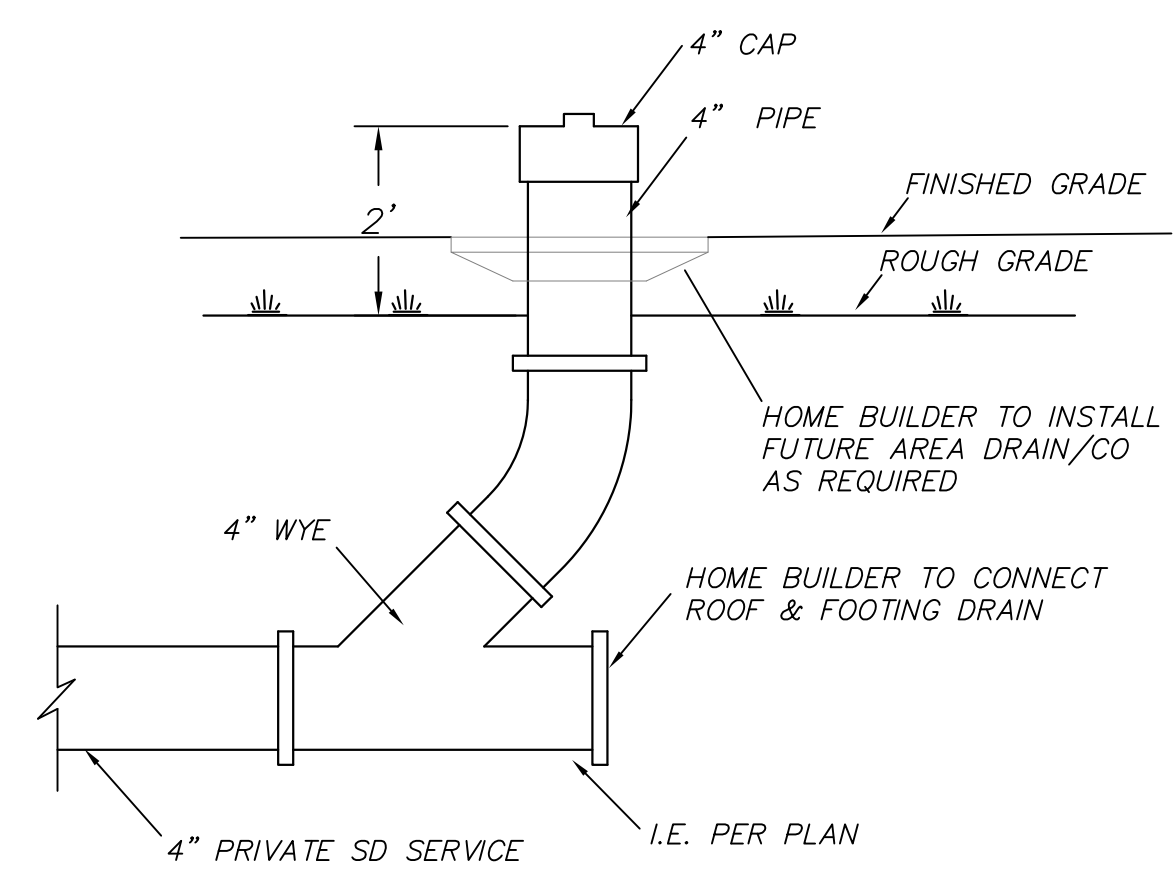
TYPICAL SECTION
PRIVATE DRIVE
(STA:45+60.89 TO 46+08.21)



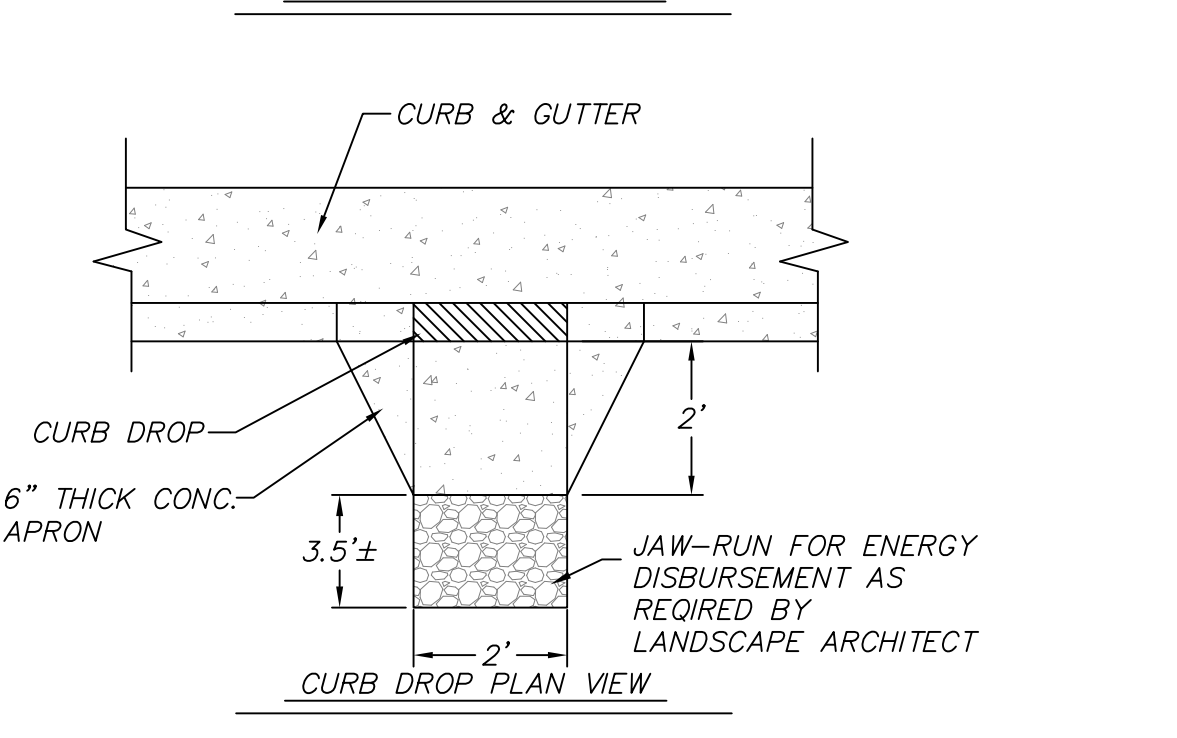
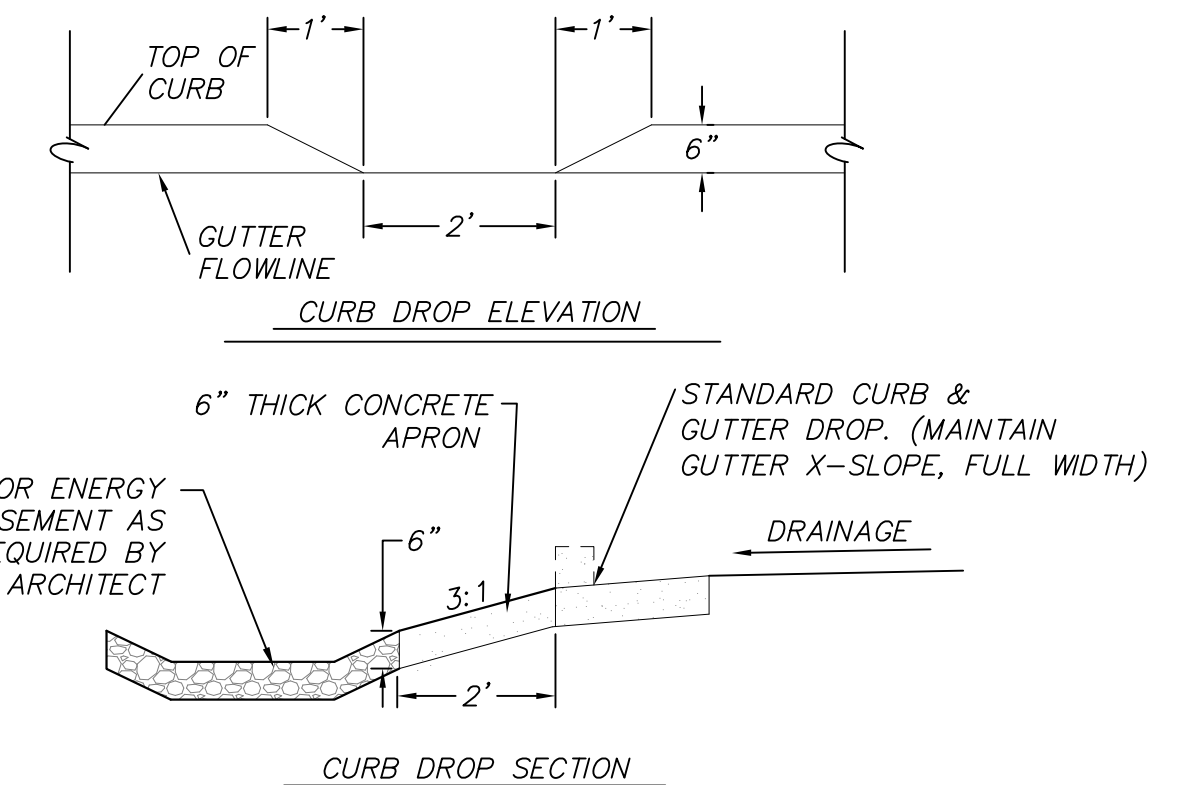
TYPICAL SECTION
PRIVATE PARKING
N.T.S.



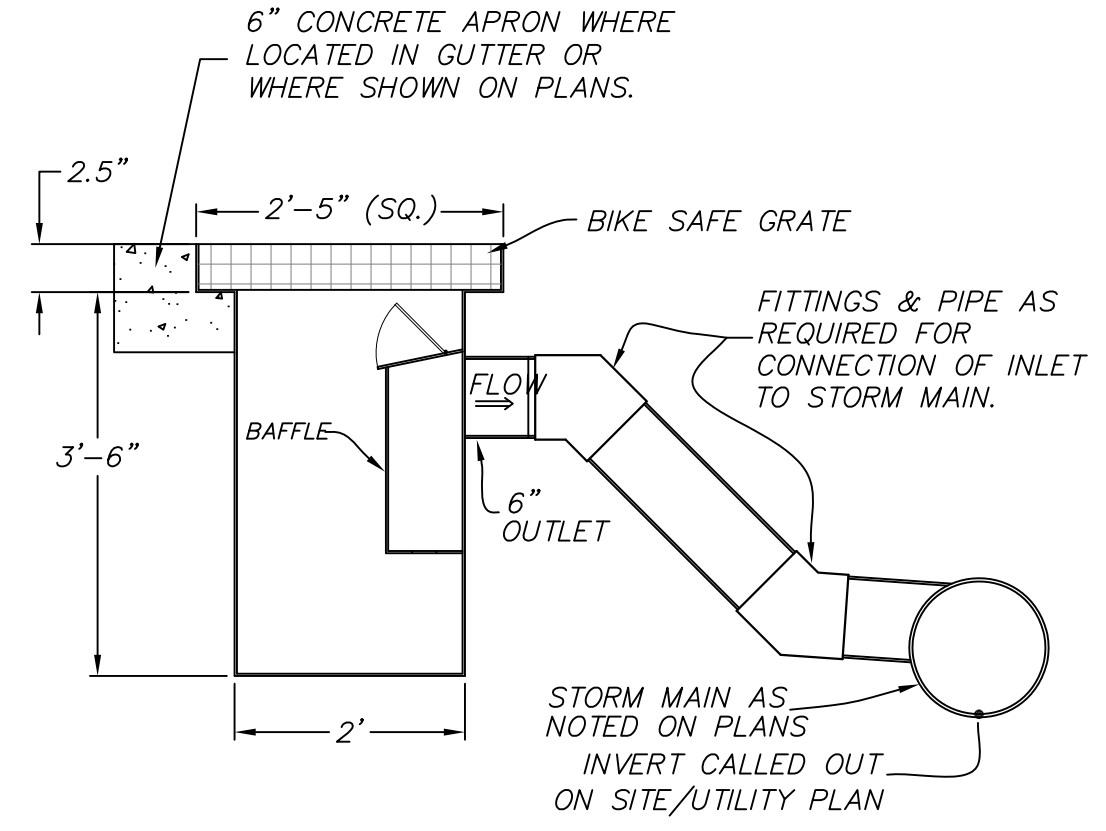
COMMON PRIVATE STORM DRAIN
AREA DRAIN AND WYE DETAIL
N.T.S.



INDIVIDUAL PRIVATE STORM SERVICE
AREA DRAIN AND WYE DETAIL
N.T.S.

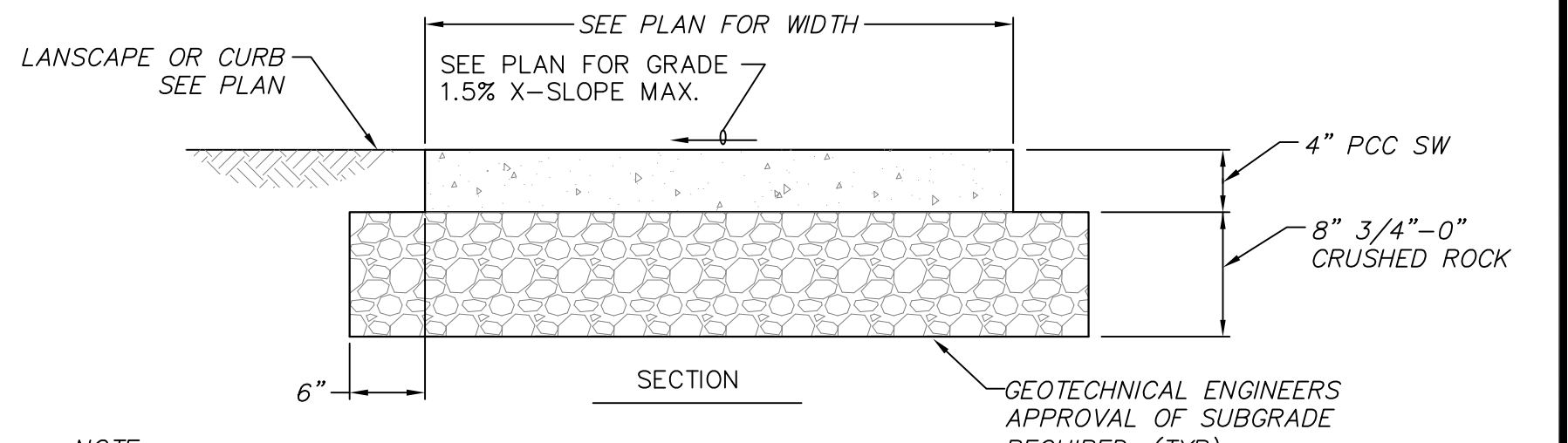


CURB DROP DETAIL
N.T.S.



STEEL LYNCH BASIN DETAIL
NOT TO SCALE (PRIVATE)

NOTE: MODEL CB-42HB AS MANUFACTURED BY GRATEMASTER, INC. HILLSBORO, OR



PRIVATE SIDEWALK
N.T.S. TYPICAL SECTION

- NOTE:
1. EXPOSED SURFACES TO BE MEDIUM BROOM FINISHED
 2. CONCRETE SHALL BE CLASS 3000 COMMERCIAL GRADE CONCRETE WITH CONTRACTION JOINTS AT 5'-0" O.C., EXPANSION JOINTS AT 50'-0" O.C.
 3. IN EMBANKMENT AREAS IMPORTED SUBBASE TO BE 4"-0" CRUSHED ROCK.
 4. WHERE ADJACENT TO CURB, ALIGN SIDEWALK AND CURB JOINTS, PROVIDE V-GROOVE JOINT BETWEEN BACK OF CURB AND FACE OF S/W.
 5. CONTRACTOR TO CONFIRM ALL SIDEWALK AND RAMPS ARE COMPLIANT WITH ADA ACCESSIBILITY REQUIREMENTS.

TYPICAL SECTION CONSTRUCTION NOTES

- 1 LEVEL 2, 1/2" DENSE HMAc (DEPTH AS NOTED).
- 2 3/4" MINUS CRUSHED ROCK (DEPTH AS NOTED).
- 3 SIDEWALK ADJACENT TO CURB PER CURRENT OREGON STANDARD DRAWING RD720. AGGREGATE BASE DEPTH SHALL MATCH ADJACENT ROADWAY SECTION AND EXTEND 12" BEYOND EDGE OF SIDEWALK.
- 4 GEOTEXTILE STABILIZATION FABRIC PER 2018 OREGON STANDARD SPECIFICATION, SPECIAL PROVISION 02320 (SUBGRADE GEOTEXTILE).
- 5 IMPORTED SUBBASE (WHERE APPLICABLE) TO BE 4"-0" CRUSHED ROCK.
- 6 CONTRACTOR TO MOUND OVER UNDERGROUND UTILITIES WITH 3/4" MINUS GRAVEL FOLLOWING UTILITY INSTALLATION TO MAINTAIN 18" MINIMUM COVER AT ALL TIMES.
- 7 16" STANDARD CURB (E=6") PER CURRENT OREGON STANDARD DRAWING RD700.
- 8 BASE MATERIAL TO EXTEND 12" BEHIND CURB (TYPICAL).
- 9 24" CURB & GUTTER (E=6") PER CURRENT OREGON STANDARD DRAWING RD700.

NOTE: CROSS SECTIONS ARE ALWAYS VIEWED LOOKING "UP-STATION".

NOTE: AC PAVING & CRUSHED ROCK SECTION DEPTHS NOTED ARE FOR DRY WEATHER CONSTRUCTION ONLY. WET WEATHER CONSTRUCTION WILL REQUIRE AN INCREASED SECTION DEPTH AS DETERMINED IN THE FIELD BY THE PROJECT GEOTECHNICAL ENGINEER. THE CONTRACTOR IS REQUIRED TO CONTACT THE PROJECT GEOTECHNICAL ENGINEER FOR APPROVAL OF SUBGRADE PRIOR TO THE PLACEMENT OF ANY CRUSHED ROCK.

GEOTECHNICAL NOTES

NOTE: PAVEMENT SECTIONS ARE BASED UPON GEOTECHNICAL RECOMMENDATIONS BY APPLIED GEOTECHNICAL ENGINEERING AND GEOLOGIC CONSULTING LLC. CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER DURING CONSTRUCTION FOR CONFORMANCE WITH REQUIREMENTS.

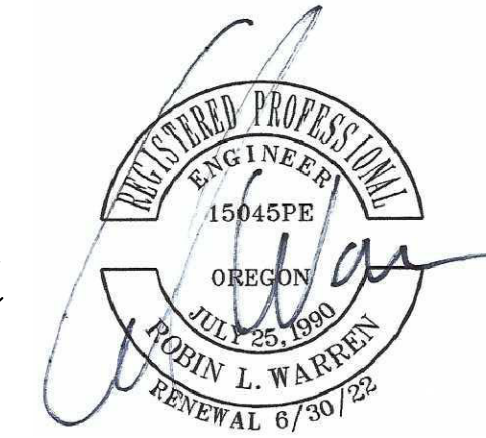
NOTE: THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECH REPORT PREPARED BY: APPLIED GEOTECHNICAL ENGINEERING AND GEOLOGIC CONSULTING LLC AND COMPLY WITH THE RECOMMENDATIONS CONTAINED IN THE REPORT.

NOTE: THE PAVEMENT SECTIONS SHOWN ARE BASED ON THE ASSUMPTION THAT PAVEMENT CONSTRUCTION WILL BE ACCOMPLISHED DURING THE DRY SEASON. IF WET-WEATHER PAVEMENT CONSTRUCTION IS CONSIDERED, IT WILL LIKELY BE NECESSARY TO INCREASE THE THICKNESS OF THE CRUSHED ROCK BASE TO SUPPORT CONSTRUCTION EQUIPMENT AND PROTECT THE MOISTURE-SENSITIVE SUBGRADE SOILS FROM DISTURBANCE. IT SHOULD BE NOTED THAT THE PAVEMENT SECTIONS MAY NOT BE ADEQUATE FOR THE SUPPORT OF INTENSE, HEAVY CONSTRUCTION TRAFFIC.

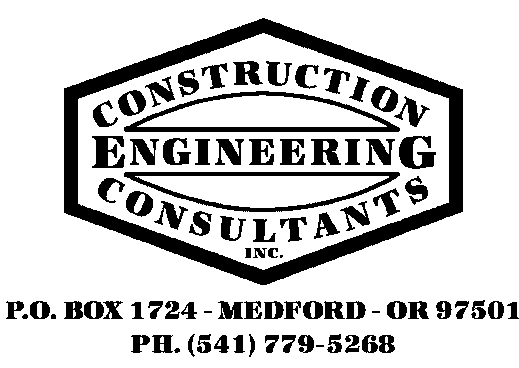
GEOTECHNICAL PRE-CONSTRUCTION & SUBGRADE APPROVAL

NOTE: CONTRACTOR IS TO HOLD A PRE-CONSTRUCTION MEETING WITH CITY DESIGNATED INSPECTOR PRIOR TO THE START OF CONSTRUCTION.

NOTE: PROJECT GEOTECHNICAL ENGINEER OR QUALIFIED EXPERIENCED CITY INSPECTOR MUST PROVIDE APPROVAL OF THE SUBGRADE PRIOR TO PLACEMENT OF ROADWAY ROCK SECTION AND/OR GEOTEXTILE FABRIC. INSPECTOR SHALL PROVIDE WRITTEN CONFIRMATION TO THE ENGINEER OF RECORD AND THE CITY PUBLIC WORKS DEPARTMENT WITHIN 10 WORKING DAYS.

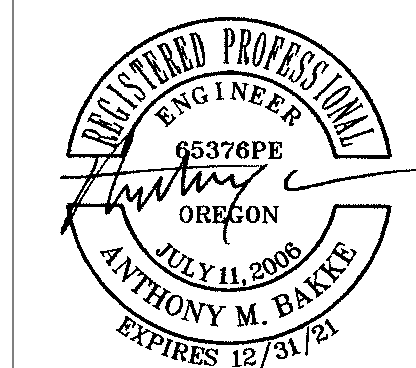


FOR GEOTECHNICAL NOTES AND SPECIFICATIONS ONLY

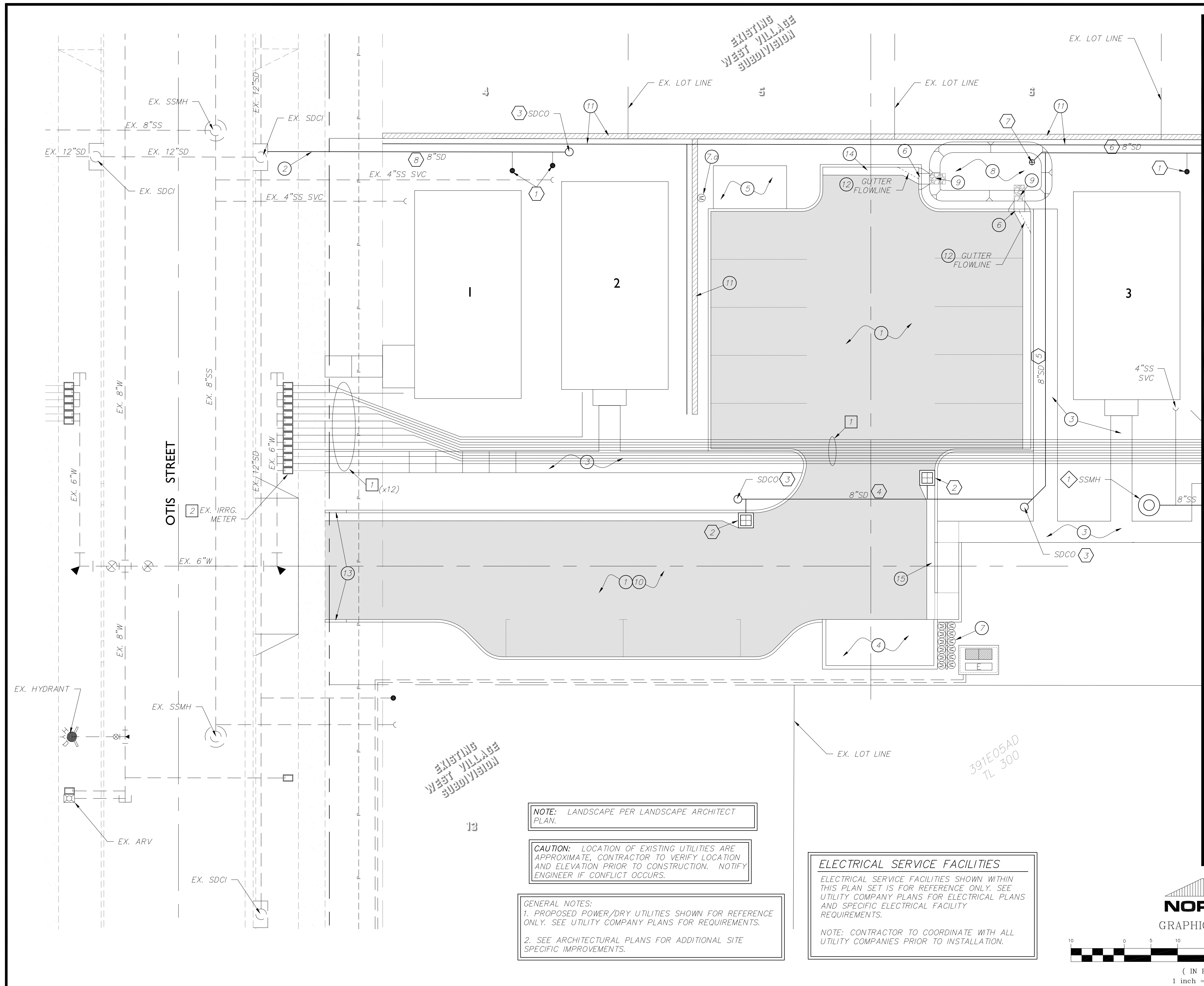


DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
APPROVED RVS:	DATE:
APPROVED:	DATE:
APPROVED:	DATE:
APPROVED:	DATE:

NO.	REVISION	DATE	BY



CONSTRUCTION ENGINEERING CONSULTANTS	
THE COTTAGES AT WEST VILLAGE PHASES I CIVIL IMPROVEMENTS CROSS SECTIONS AND SPECIAL DETAILS	
PROJECT NO.	-
DRAWING NO.	A.2



MATCHLINE - SEE SHEET B.2

SITework CONSTRUCTION NOTES

- 1 CONSTRUCT AC PAVING PER SECTION SHEET A.2.
- 2 SAWCUT REMOVED AND REPLACE EXISTING SIDEWALK AS REQUIRED FOR UTILITY CONSTRUCTION.
- 3 CONSTRUCT SIDEWALK PER C.O.A. STANDARDS AND SECTION, SHEET A.2.
- 4 TRASH ENCLOSURE AND CONC APRON PER ARCHITECT, SEE ARCHITECTURAL PLANS.
- 5 BIKE PARKING CONCRETE PAD WITH BIKE RACKS PER ARCHITECT.
- 6 CONSTRUCT CURB DROP PER DETAIL, SEE SHEET A.2. TRANSITION GUTTER PAN AS NEEDED TO PROVIDE FULL DRAINAGE TO CURBDROP OPENING.
- 7 INSTALL METER BANK WALL (DESIGN BY OTHERS) MAINTAIN 3' SAFETY AND WORK CLEARANCE IN FRONT OF METER BASE PER C.O.A. REQUIREMENTS.
- 7.5 INSTALL METER, MAINTAIN 3' SAFETY AND WORK CLEARANCE IN FRONT OF METER BASE PER C.O.A. REQUIREMENTS.
- 8 CONSTRUCT RAIN GARDEN AS SHOWN, GRADE TO DRAIN @ S=0.5% MIN. SEE LANDSCAPE PLANS FOR RAIN GARDEN PLANTING SPECIFICATIONS.
- 9 JAW-RUN FOR ENERGY DISBURSEMENT AS REQUIRED BY LANDSCAPE ARCHITECT.
- 10 SEE CENTERLINE PROFILE SHEET C.1.
- 11 LANDSCAPE/RETAINING WALL BY OTHERS, TYPE AND MATERIAL TO BE DETERMINED BY OWNER. WALL CONTRACTOR SHALL INSTALL FOOTING DRAIN, CONNECT TO STORM SYSTEM.
- 12 TRANSITION GUTTER FLOWLINE AS NEEDED TO MAINTAIN DRAINAGE FLOW TO CENTER OF CURB DROP AS SHOWN.
- 13 CONSTRUCT CURB ENDING PER OREGON STD DWG RD700, CURB ENDING DETAIL, SHEET F.2.
- 14 CONSTRUCT STANDARD CURB AND GUTTER PER OREGON STD DWG RD700, E=6", GUTTER PAN SLOPE=8.3%.
- 15 CONSTRUCT STANDARD CURB AND GUTTER PER OREGON STD DWG RD700, E=6", GUTTER PAN SLOPE=5.0%.

PRIVATE STORM DRAIN CONSTRUCTION NOTES

- 1 INSTALL 4" PVC SD SERVICES TO BUILDINGS AS SHOWN @ 2% MIN. SLOPE (PER OSPC) CONNECT TO STORM SYSTEM WITH CLEANOUTS @ BLDGS & AS REQUIRED PER DETAILS ON SHEET A.2. MAINTAIN MINIMUM COVER TO FINISHED GRADE PER PIPE TYPE. CONTRACTOR TO VERIFY GRAVITY FTG SERVICE TO BLDGS PRIOR TO CONSTRUCTION.
- 2 INSTALL STEEL LYNCH BASIN WITH 6" SD PIPE OUTLET CONNECTED TO 8" STORM DRAIN LINE AS SHOWN. SEE LYNCH BASIN DETAIL, SHEET A.2.
- 3 INSTALL SD CLEANOUT PER OREGON STD. DWG. RD362.
- 4 CONSTRUCT 55.25 LF OF PRIVATE 8" PVC STORM LINE @ S=3% INV (W)=1798.58, INV (E)=1796.93
- 5 CONSTRUCT 66 LF OF PRIVATE 8" PVC STORM LINE @ S=3% INV (S)=1796.93, INV (N)=1793.96
- 6 CONSTRUCT 175 LF OF PRIVATE 8" PVC STORM LINE @ S=3% INV (W)=1793.63, INV (E)=SEE SHEET B.2
- 7 INSTALL 12" NYLOPLAST INLINE DRAIN WITH DOME GRATE 4" ABOVE BOTTOM OF RAIN GARDEN AS SHOWN PER MANUFACTURE'S DWG NO. 7003-110-057, O.A.E., SEE SHEET F.2.
- 8 CONSTRUCT 57.8 LF OF PRIVATE 8" PVC STORM LINE @ S=3% INV (W)=1798.81, INV (E)=1800.57

NOTE: ALL PRIVATE STORM SYSTEM PIPES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND 2' MINIMUM COVER, UNLESS NOTED OTHERWISE.

PRIVATE SANITARY SEWER CONSTRUCTION NOTES

- 1 CONSTRUCT SSMH PER OREGON STD DWG RD338 AND C.O.A. STANDARDS.

PRIVATE WATER CONSTRUCTION NOTES

- 1 INSTALL DOMESTIC WATER SUPPLY LINE FROM METER TO BUILDINGS PER OSPC & C.O.A. STANDARDS AS SHOWN, MAINTAIN 24" MIN. COVER TO FINISHED GRADE. CONTRACTOR SHALL COORDINATE WITH PROJECT PLUMBER FOR VERIFICATION AND FINAL SERVICE SIZING AND PIPING REQUIREMENTS PRIOR TO CONSTRUCTION.
- 2 INSTALL DOMESTIC WATER SUPPLY LINE FROM METER TO IRRIGATION CONTROLS PER OSPC & C.O.A. STANDARDS. SEE LANDSCAPE ARCHITECT PLANS FOR IRRIGATION DESIGN AND LOCATIONS. CONTRACTOR SHALL COORDINATE WITH PROJECT PLUMBER FOR VERIFICATION AND FINAL SERVICE SIZING AND PIPING REQUIREMENTS PRIOR TO CONSTRUCTION.

NOTE:
 1. PRIVATE DOMESTIC WATER SERVICE LINE SIZING TO BE VERIFIED BY PROJECT PLUMBER PRIOR TO CONSTRUCTION.
 2. ALL EXISTING WATER METERS TO BE TESTED TO ASSURE THEY ARE WORKING ORDER PER C.O.A. STANDARDS.

NOTE: LANDSCAPE PER LANDSCAPE ARCHITECT PLAN.

CAUTION: LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF CONFLICT OCCURS.

GENERAL NOTES:
 1. PROPOSED POWER/DRY UTILITIES SHOWN FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR REQUIREMENTS.
 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE SPECIFIC IMPROVEMENTS.

ELECTRICAL SERVICE FACILITIES

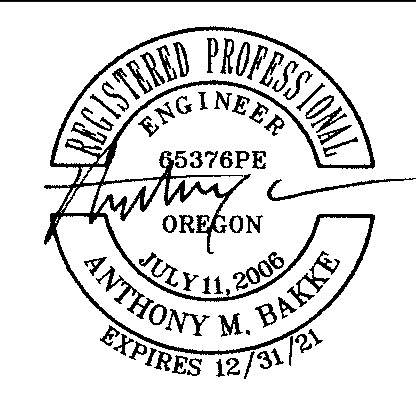
ELECTRICAL SERVICE FACILITIES SHOWN WITHIN THIS PLAN SET IS FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR ELECTRICAL PLANS AND SPECIFIC ELECTRICAL FACILITY REQUIREMENTS.

NOTE: CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO INSTALLATION.



DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

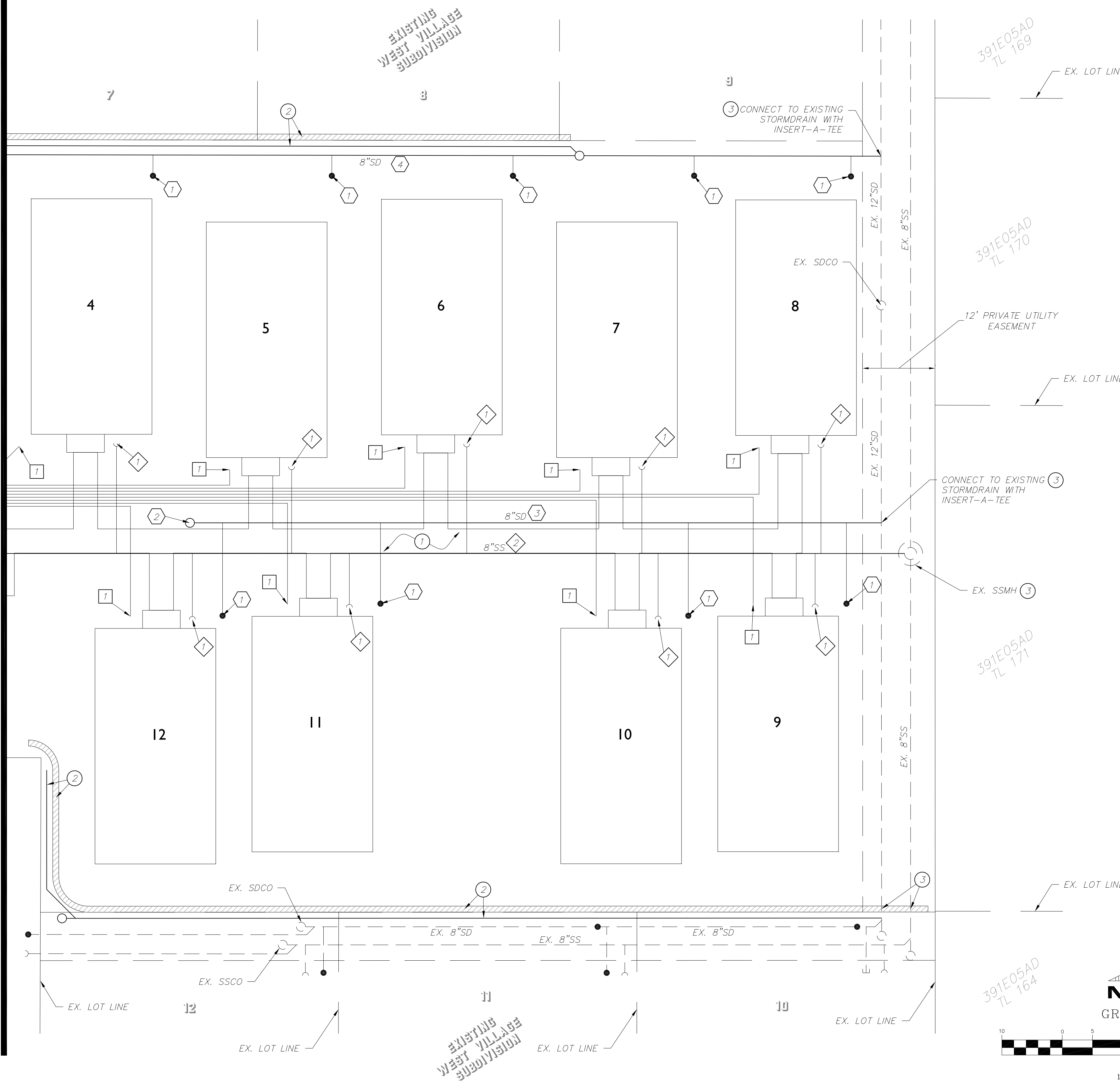
NO.	REVISION	DATE	BY



CITY OF ASHLAND
THE COTTAGES AT WEST VILLAGE
PHASES I
CIVIL IMPROVEMENTS
SITE / UTILITY PLAN

PROJECT NO. -
 DRAWING NO. B.1

MATCHLINE - SEE SHEET B.1



SITework CONSTRUCTION NOTES

1. CONSTRUCT SIDEWALK PER C.O.A. STANDARDS AND SECTION, SHEET A.2.
2. LANDSCAPE/RETAINING WALL BY OTHERS. TYPE AND MATERIAL TO BE DETERMINED BY OWNER. WALL CONTRACTOR SHALL INSTALL FOOTING DRAIN, CONNECT TO STORM SYSTEM.
3. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF CONFLICT OCCURS.

PRIVATE STORM DRAIN CONSTRUCTION NOTES

1. INSTALL 4" PVC SD SERVICES TO BUILDINGS AS SHOWN @ 2% MIN. SLOPE (PER OSPC) CONNECT TO STORM SYSTEM WITH CLEANOUTS @ BLDGS & AS REQUIRED PER DETAILS ON SHEET A.2. MAINTAIN MINIMUM COVER TO FINISHED GRADE PER PIPE TYPE. CONTRACTOR TO VERIFY GRAVITY FTG SERVICE TO BLDGS PRIOR TO CONSTRUCTION.
2. INSTALL SD CLEANOUT PER OREGON STD. DWG. RD362.
3. CONSTRUCT 114.5 LF OF PRIVATE 8" PVC STORM LINE @ S=3%; INV (W)=1796.28, INV (E)=1792.84
4. CONSTRUCT 175 LF OF PRIVATE 8" PVC STORM LINE @ S=3%; INV (W)=SEE SHEET B.1, INV (E)=1789.37

NOTE: ALL PRIVATE STORM SYSTEM PIPES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND 2' MINIMUM COVER, UNLESS NOTED OTHERWISE.

PRIVATE SANITARY SEWER CONSTRUCTION NOTES

1. INSTALL 4" PVC SEWER SERVICE @ 2% MIN PER OREGON STD DWG RD310, AND C.O.A. STANDARDS AS SHOWN. INSTALLATION PER THE O.S.P.C. CONTRACTOR TO VERIFY MIN. REQUIRED DEPTH WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
2. INSTALL 160.4 LF OF PRIVATE 8" PVC SANITARY SEWER LINE @ S=2.3% CORE DRILL AND CONNECT TO EXISTING SSMH PER C.O.A. STANDARDS. INV (E)=1790.66

PRIVATE WATER CONSTRUCTION NOTES

1. INSTALL DOMESTIC WATER SUPPLY LINE FROM METER TO BUILDINGS PER OSPC & C.O.A. STANDARDS AS SHOWN. MAINTAIN 24" MIN. COVER TO FINISHED GRADE. CONTRACTOR SHALL COORDINATE WITH PROJECT PLUMBER FOR VERIFICATION AND FINAL SERVICE SIZING AND PIPING REQUIREMENTS PRIOR TO CONSTRUCTION.

NOTE:
 1. PRIVATE DOMESTIC WATER SERVICE LINE SIZING TO BE VERIFIED BY PROJECT PLUMBER PRIOR TO CONSTRUCTION.
 2. ALL EXISTING WATER METERS TO BE TESTED TO ASSURE THEY ARE WORKING ORDER PER C.O.A. STANDARDS.

ELECTRICAL SERVICE FACILITIES

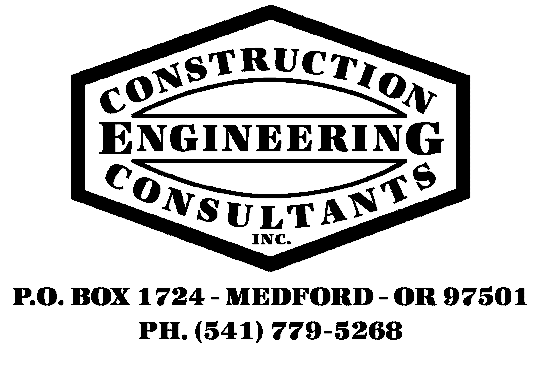
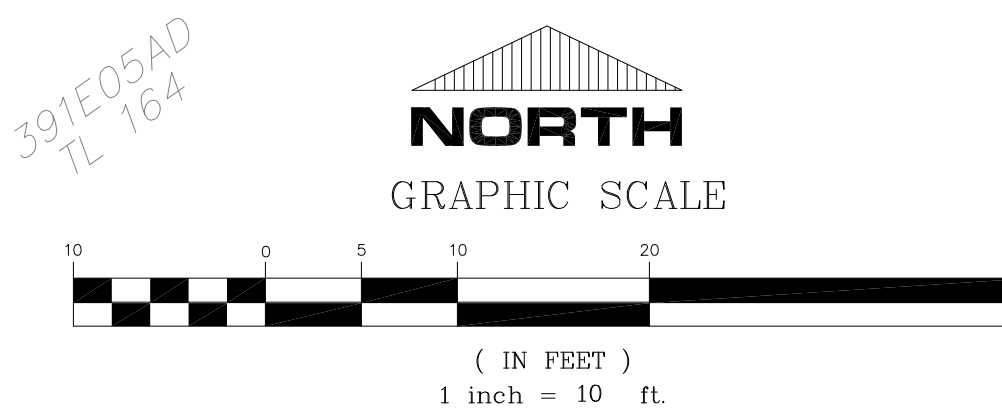
ELECTRICAL SERVICE FACILITIES SHOWN WITHIN THIS PLAN SET IS FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR ELECTRICAL PLANS AND SPECIFIC ELECTRICAL FACILITY REQUIREMENTS.

NOTE: CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO INSTALLATION.

GENERAL NOTES:
 1. PROPOSED POWER/DRY UTILITIES SHOWN FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR REQUIREMENTS.
 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE SPECIFIC IMPROVEMENTS.

CAUTION: LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF CONFLICT OCCURS.

NOTE: LANDSCAPE PER LANDSCAPE ARCHITECT PLAN.



DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY



CITY OF ASHLAND
THE COTTAGES AT WEST VILLAGE
PHASES I
CIVIL IMPROVEMENTS
SITE / UTILITY PLAN

PROJECT NO. -
 DRAWING NO. B.2

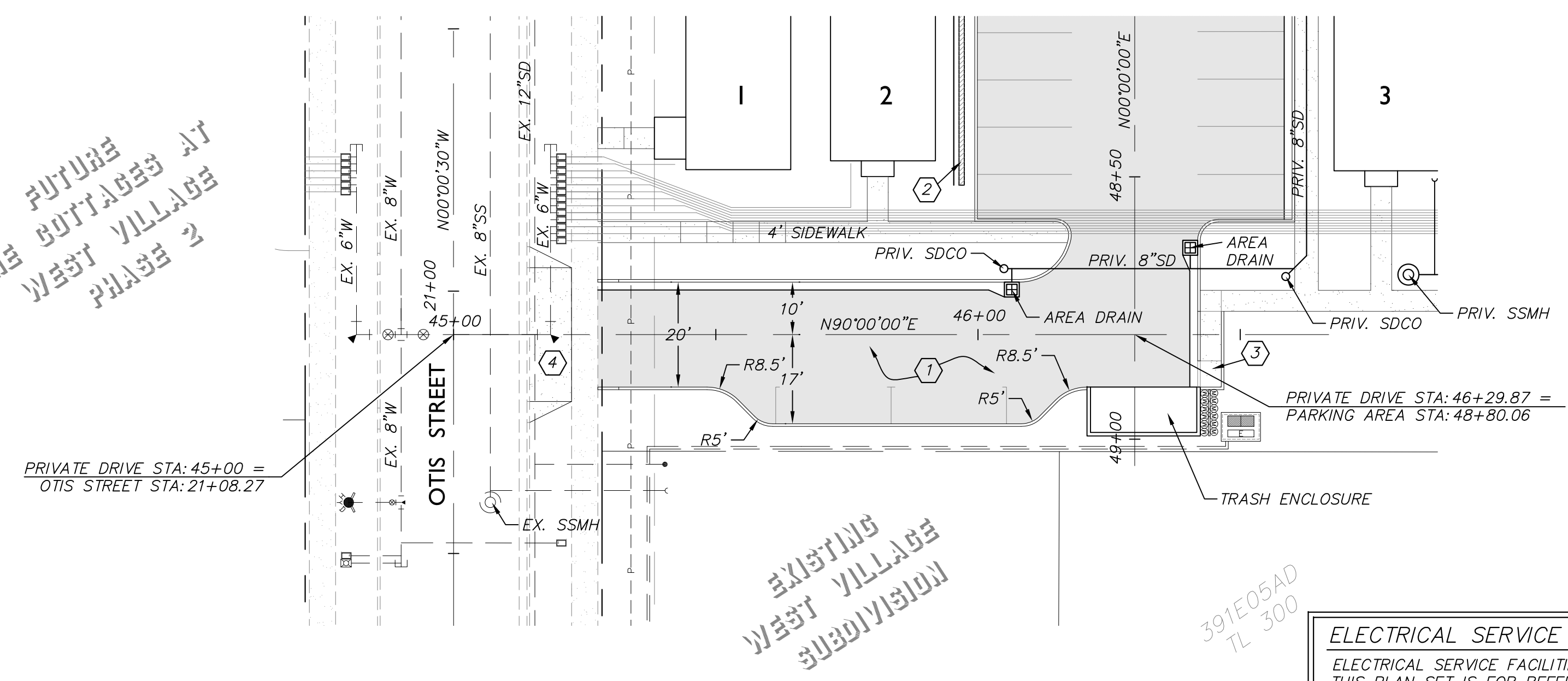
CONSTRUCTION NOTES

- ① CONSTRUCT AC PAVING SECTION, PER PRIVATE DRIVE SECTION SHEET A.2.
- ② LANDSCAPE WALL BY OTHERS. TYPE AND MATERIAL TO BE DETERMINED BY OWNER. SEE ARCHITECTURAL PLANS FOR SPECIFICATIONS.
- ③ CONSTRUCT RAMP PER COA STANDARDS AND SIMILAR TO OREGON STD DWG RD754, CURBED OPTION WITH 6" CURB AT BACK OF RAMP.
- ④ CONSTRUCT DRIVEWAY PER OREGON STD DWG RD740, OPTION J.

NOTES:

- 1. PROPOSED POWER/DRY UTILITIES SHOWN FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR REQUIREMENTS.
- 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE SPECIFIC IMPROVEMENTS AND FOR HORIZONTAL CONTROL/EXACT LOCATIONS OF ALL PROPOSED SITE IMPROVEMENTS.
- 3. SEE ARCHITECTURAL PLANS FOR SITE LIGHTING, SIGNAGE, STRIPING, ETC.
- 4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES (ELECTRICAL, TELEPHONE, CATV, GAS, ETC.) FOR UTILITY SERVICING TO PROPOSED PROJECT. CONTRACTOR TO PROVIDE TRENCHING, CONDUITS, VAULTS, & BACKFILL AS REQUIRED.

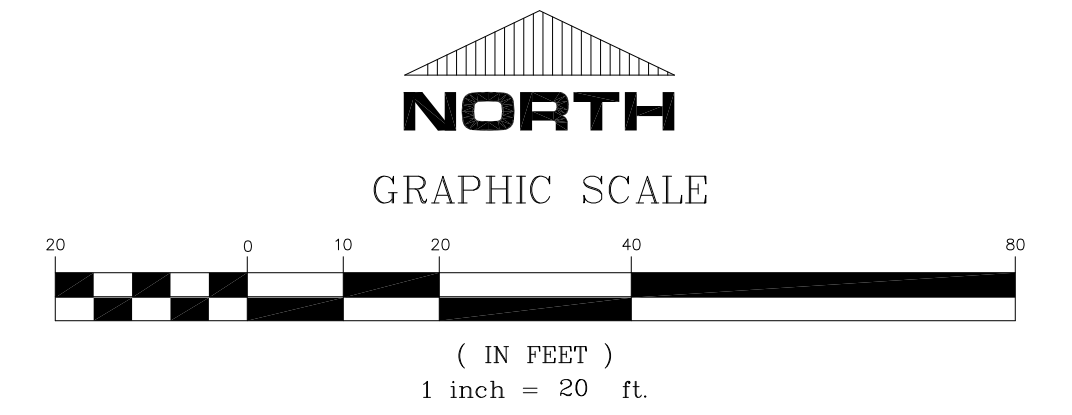
FUTURE
THE COTTAGES AT
WEST VILLAGE
PHASE 2



EXISTING
WEST VILLAGE
SUBDIVISION

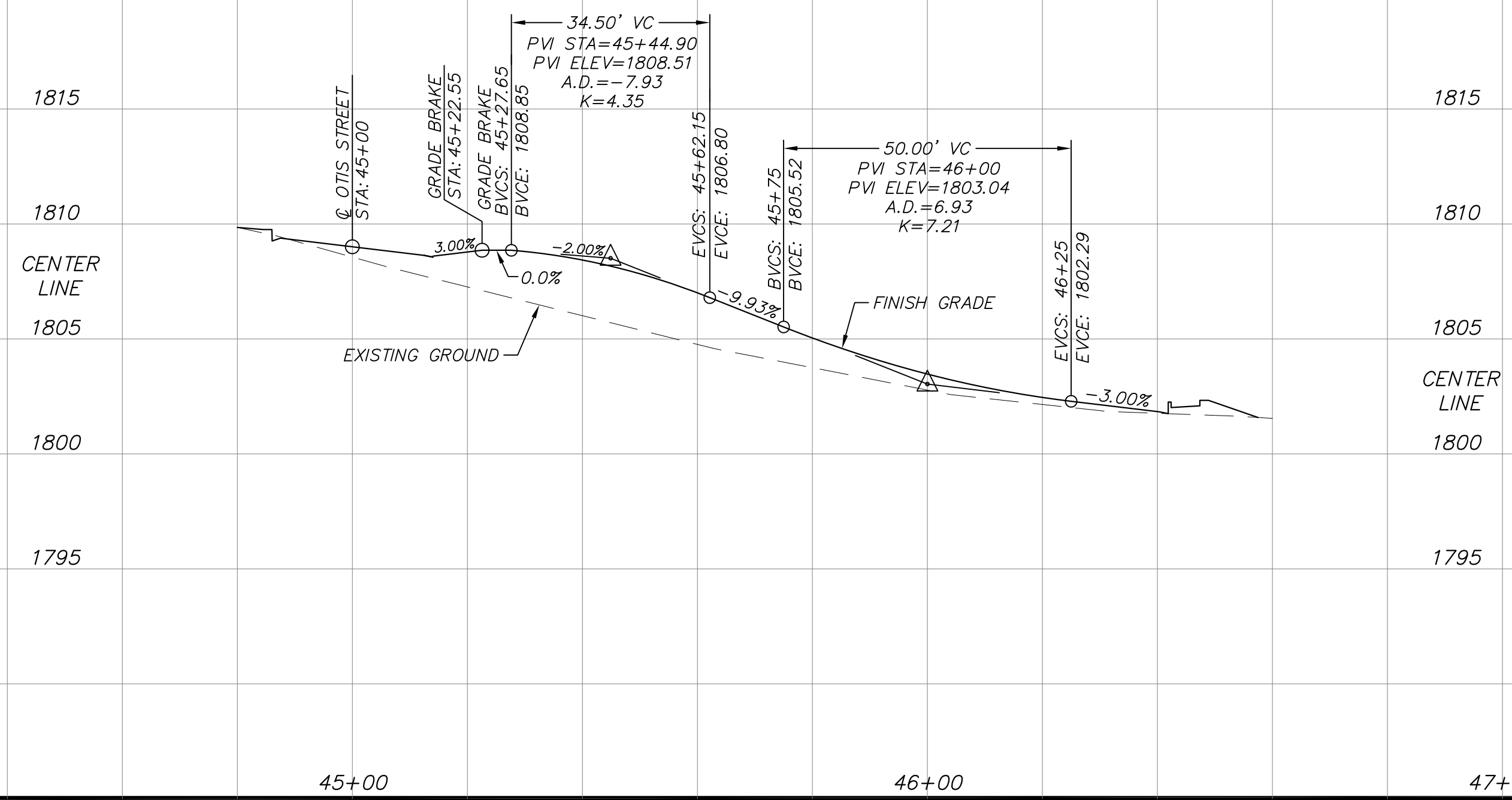
391E05AD
TL 300

ELECTRICAL SERVICE FACILITIES
ELECTRICAL SERVICE FACILITIES SHOWN WITHIN THIS PLAN SET IS FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR ELECTRICAL PLANS AND SPECIFIC ELECTRICAL FACILITY REQUIREMENTS.
NOTE: CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO INSTALLATION.



PRIVATE DRIVE

PROFILE SCALES
HORIZONTAL SCALE - 1" = 20'
VERTICAL SCALE - 1" = 5'

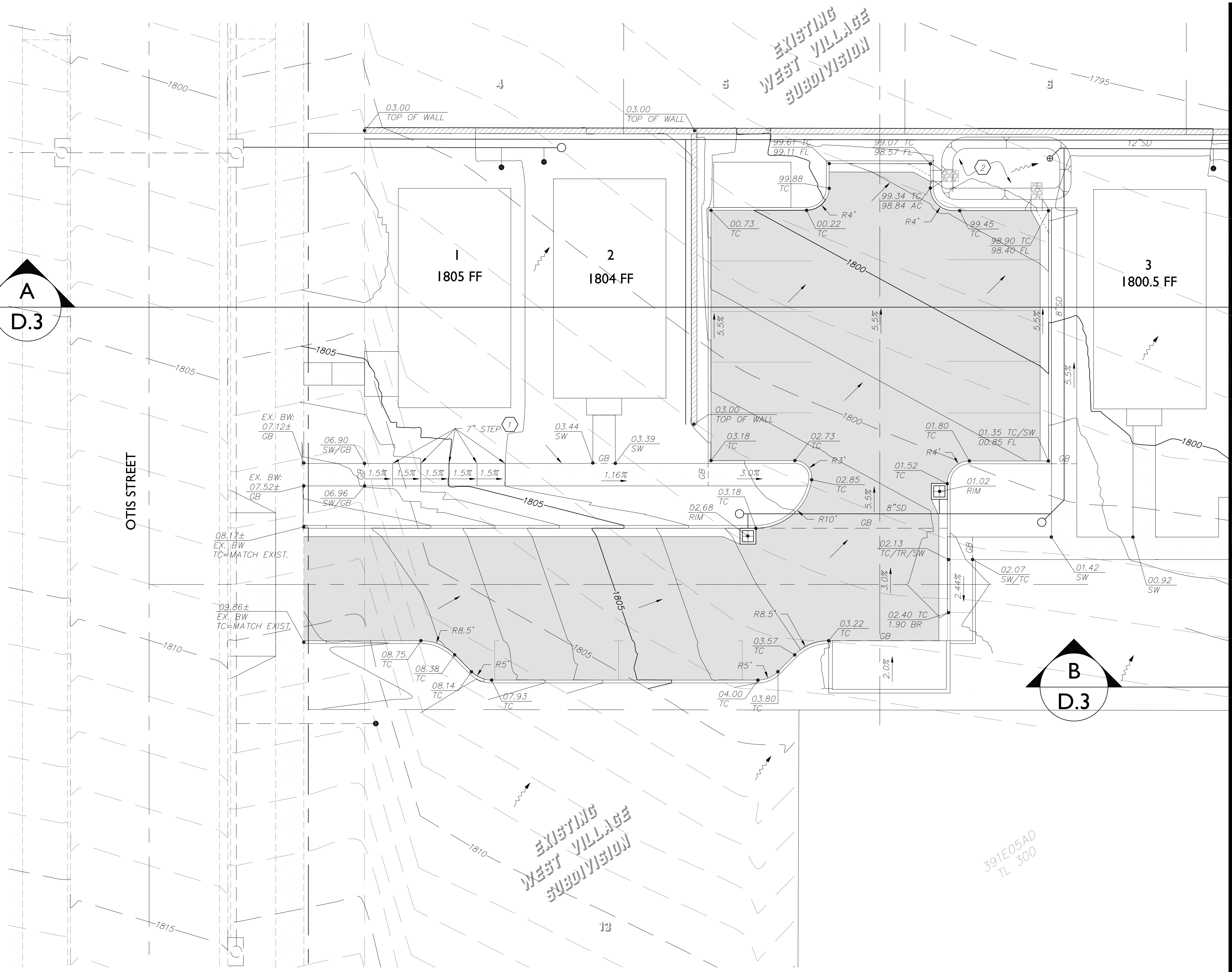


DRAWN BY: BRO	DATE: 11/19
CHECKED BY: AMB	DATE: 11/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY



CITY OF ASHLAND	
THE COTTAGES AT WEST VILLAGE PHASE I CIVIL IMPROVEMENTS PRIVATE DRIVE	
PROJECT NO.	-
DRAWING NO.	C.1



LEGEND:

- HARDSCAPE DRAINAGE DIRECTION
- SURFACE DRAINAGE DIRECTION
- GRADE BREAK
- FINISHED GRADE ELEVATION
- TOP OF CURB ELEVATION
- STRUCTURE GRATE ELEVATION
- FLOWLINE ELEVATION
- SIDEWALK ELEVATION
- LANDSCAPE WALL (SEE ARCH/STRUCTURAL PLANS)

CONTOURS

- EXISTING CONTOUR INTERVAL = 1'
- PROPOSED CONTOUR INTERVAL = 1'
- INDEX INTERVAL = 5'
- EXISTING GROUND ELEV
- FINISHED GROUND ELEV

CONSTRUCTION NOTES:

1. CONSTRUCT CONCRETE STEPS. SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
2. CONSTRUCT RAIN GARDEN. GRADE TO DRAIN @ 5=0.5% MIN. SEE LANDSCAPE PLANS FOR RAIN GARDEN PLANTING SPECIFICATIONS.

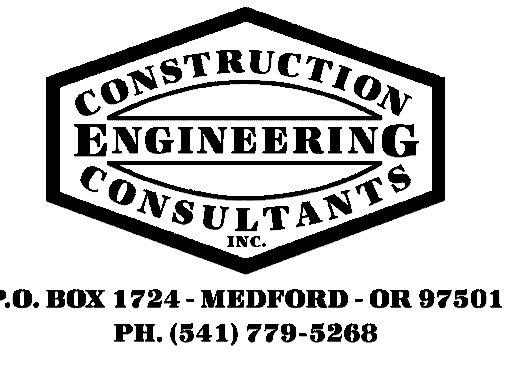
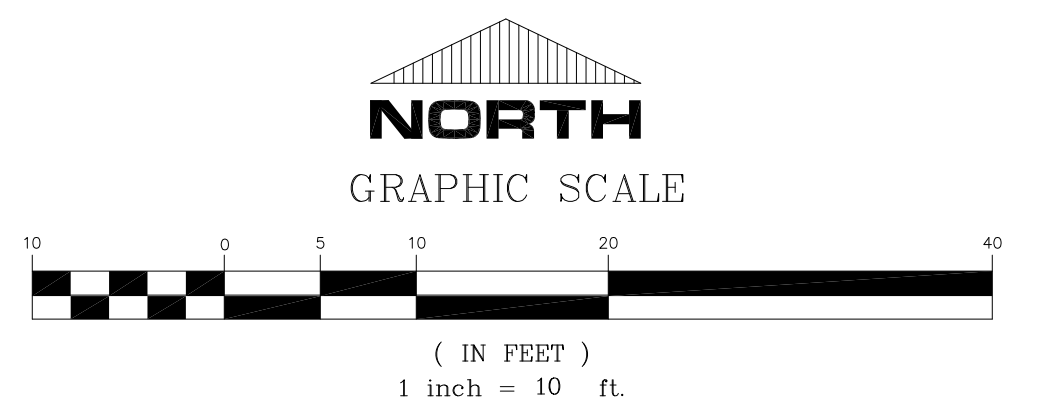
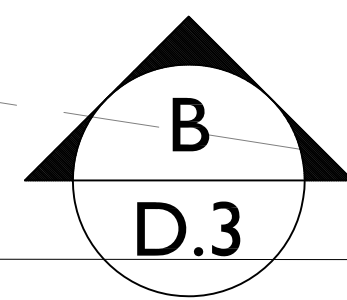
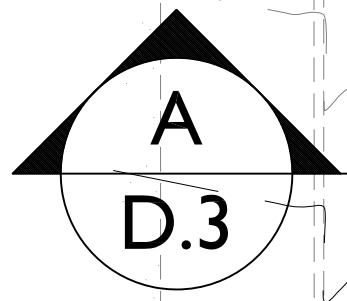
GENERAL NOTES:

1. STORM DRAIN LINES SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY. SEE SITE & UTILITY SHEET FOR DETAIL INFORMATION.
2. PROPOSED CONTOURS SHOWN REPRESENT FINISHED GRADES IN ROAD AREAS. PROPOSED CONTOURS SHOWN IN ALL OTHER AREAS REPRESENT APPROXIMATE GRADING PRIOR TO CONSTRUCTION OF BUILDINGS. FINISHED GRADING AFTER COMPLETION OF BUILDING CONSTRUCTION MAY VARY FROM THE PROPOSED CONTOURS SHOWN ON THIS DRAWING.
3. EXCESS SPOILS SHALL BE REMOVED FROM THE PROJECT AS NEEDED UNLESS OTHERWISE COORDINATED WITH THE PROJECT ENGINEER. MATCH EXISTING GRADES AT ADJACENT PROPERTY LINES & MAINTAIN EXISTING DRAINAGE DIRECTION. DO NOT BLOCK ANY OFF SITE DRAINAGE PATHS.

GEOTECHNICAL NOTES

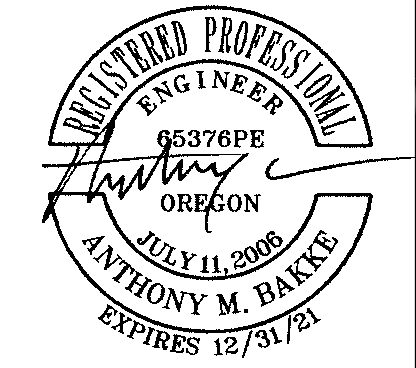
1. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE GEOTECH REPORT PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER AND FOLLOW ALL OF THE RECOMMENDATIONS CONTAINED WITHIN THE REPORT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE PROJECT GEOTECHNICAL ENGINEER FOR REQUIRED REMEDIATION. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR REQUIRED SITE OBSERVATIONS AND TESTING OF ALL EARTHWORK OPERATIONS.

MATCHLINE - SEE SHEET D.2



DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY



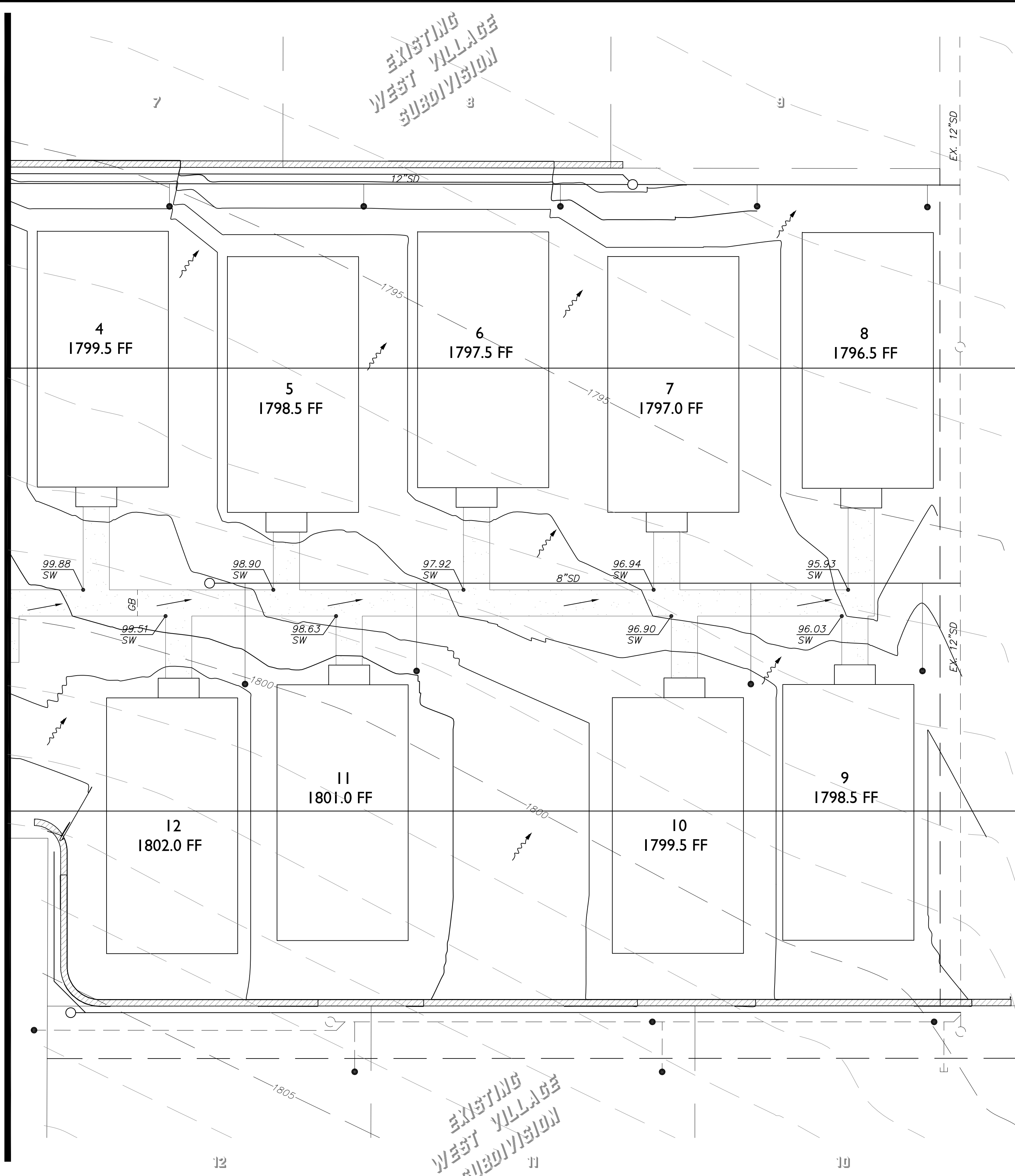
CITY OF ASHLAND

THE COTTAGES AT WEST VILLAGE PHASES I CIVIL IMPROVEMENTS GRADING PLAN

PROJECT NO. -
DRAWING NO. D.1

NAME: D.1-WES-ECOT-GRAD.dwg PROJ.: 20-56 PLOT DATE: 2/5/21

MATCHLINE - SEE SHEET D.1



LEGEND:

HARDSCAPE DRAINAGE DIRECTION	←
SURFACE DRAINAGE DIRECTION	↘
GRADE BREAK	— GB —
TOP OF CURB ELEVATION	— XX.XX / TC —
SIDEWALK ELEVATION	— XX.XX / SW —
LANDSCAPE WALL (SEE ARCH/STRUCTURAL PLANS)	▬▬▬

CONTOURS

EXISTING CONTOUR INTERVAL = 1'
 PROPOSED CONTOUR INTERVAL = 1'
 INDEX INTERVAL = 5'

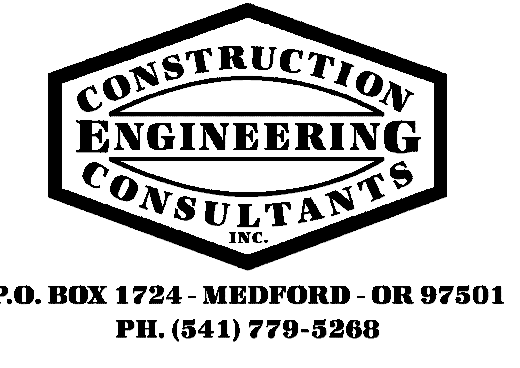
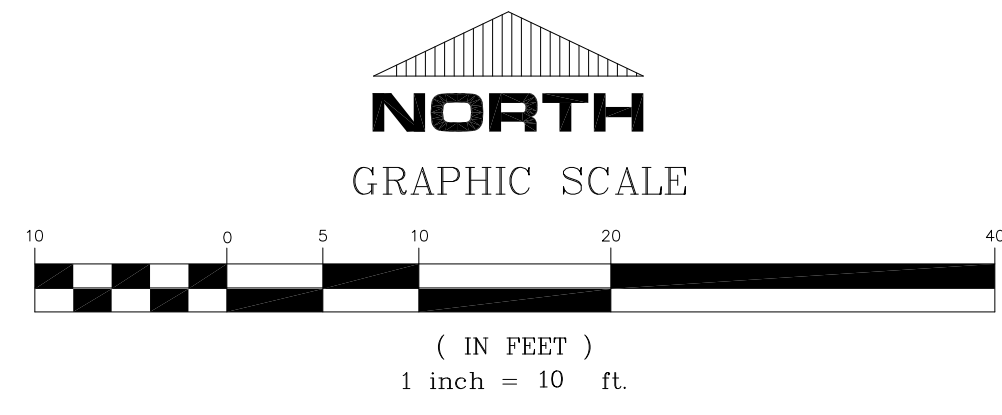
EXISTING GROUND	--- ELEV ---
FINISHED GROUND	— ELEV —

- GENERAL NOTES:**
1. STORM DRAIN LINES SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY. SEE SITE & UTILITY SHEET FOR DETAIL INFORMATION.
 2. PROPOSED CONTOURS SHOWN REPRESENT FINISHED GRADES IN ROAD AREAS. PROPOSED CONTOURS SHOWN IN ALL OTHER AREAS REPRESENT APPROXIMATE GRADING PRIOR TO CONSTRUCTION OF BUILDINGS. FINISHED GRADING AFTER COMPLETION OF BUILDING CONSTRUCTION MAY VARY FROM THE PROPOSED CONTOURS SHOWN ON THIS DRAWING.
 3. EXCESS SPOILS SHALL BE REMOVED FROM THE PROJECT AS NEEDED UNLESS OTHERWISE COORDINATED WITH THE PROJECT ENGINEER. MATCH EXISTING GRADES AT ADJACENT PROPERTY LINES & MAINTAIN EXISTING DRAINAGE DIRECTION. DO NOT BLOCK ANY OFF SITE DRAINAGE PATHS.

- GEOTECHNICAL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE GEOTECH REPORT PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER AND FOLLOW ALL OF THE RECOMMENDATIONS CONTAINED WITHIN THE REPORT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE PROJECT GEOTECHNICAL ENGINEER FOR REQUIRED REMEDIATION. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR REQUIRED SITE OBSERVATIONS AND TESTING OF ALL EARTHWORK OPERATIONS.

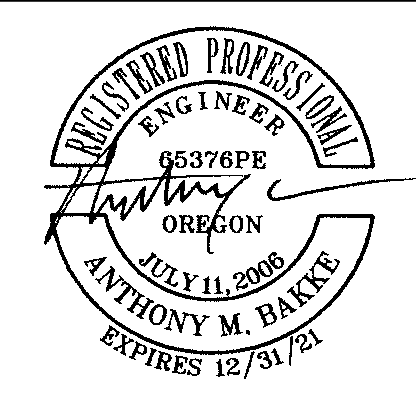
391E05AD
TL 170
A
D.3

391E05AD
TL 171
B
D.3



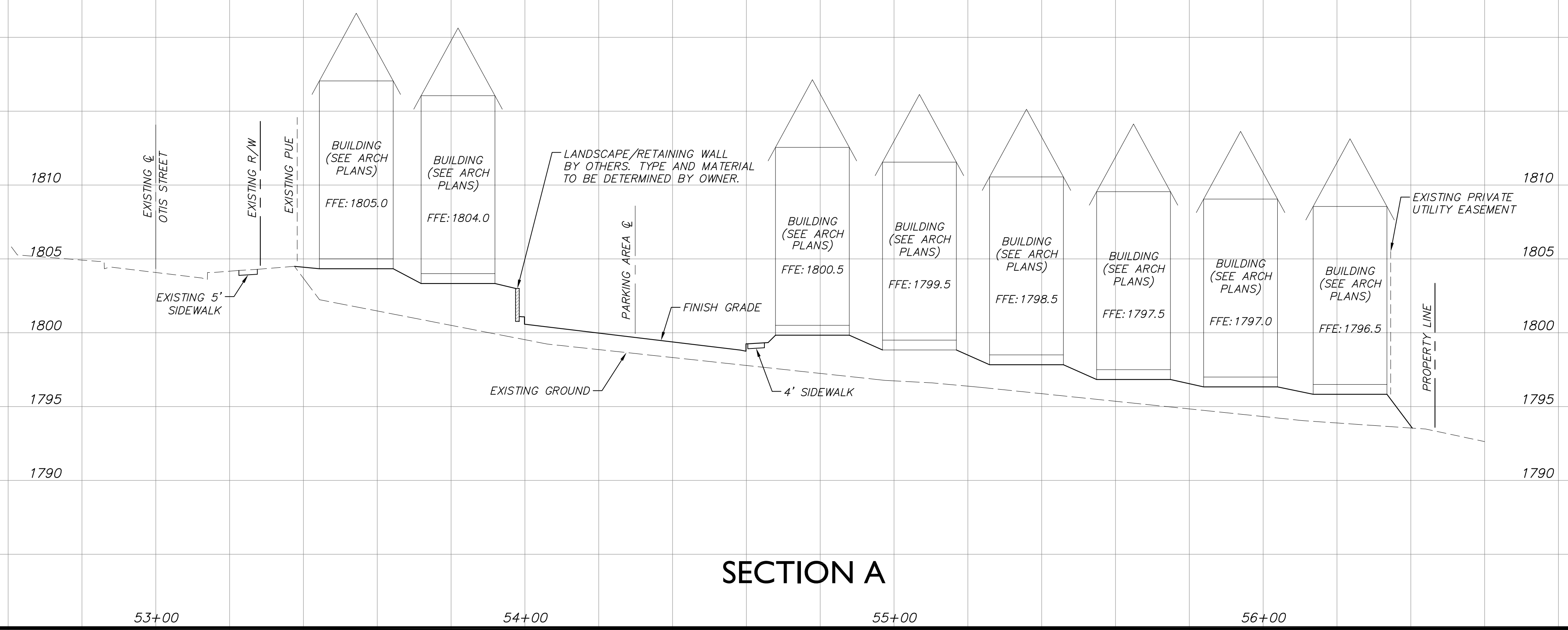
DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY

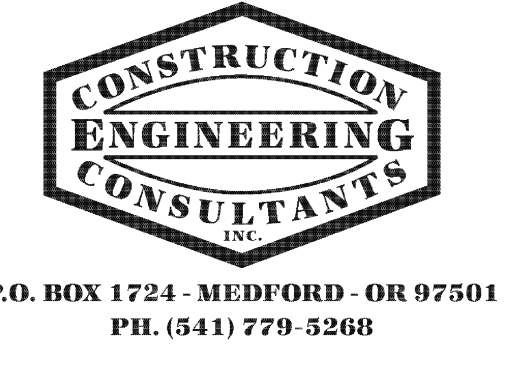
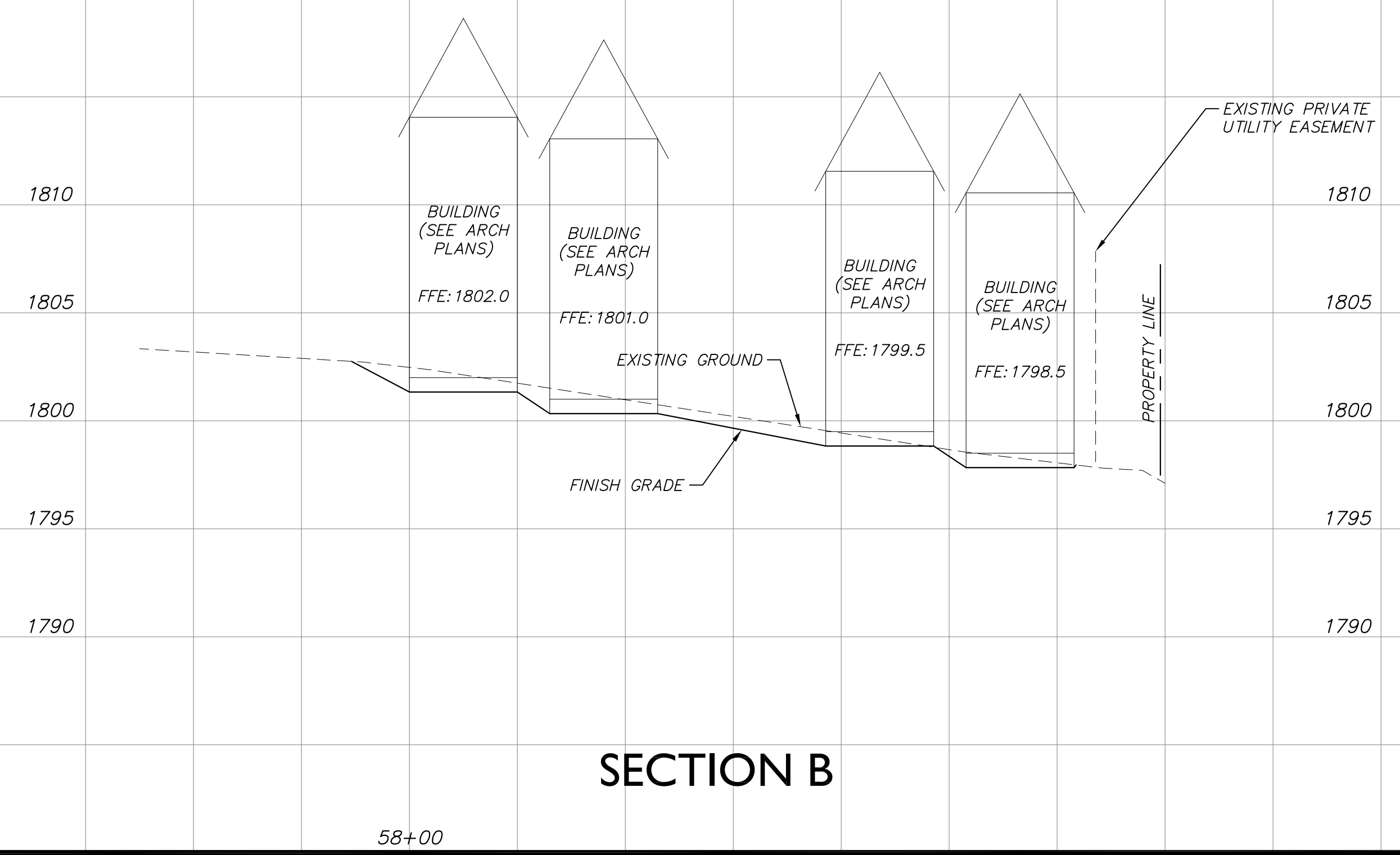


CITY OF ASHLAND	
THE COTTAGES AT WEST VILLAGE PHASES I CIVIL IMPROVEMENTS GRADING PLAN	
PROJECT NO.	-
DRAWING NO.	D.2

PROFILE SCALES
 HORIZONTAL SCALE - 1" = 20'
 VERTICAL SCALE - 1" = 5'

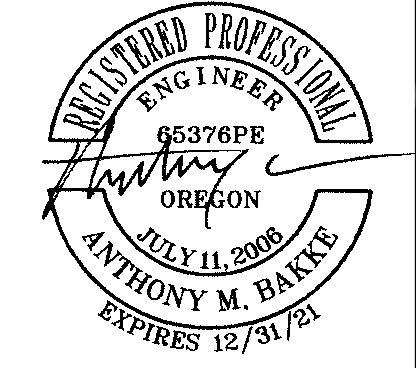


PROFILE SCALES
 HORIZONTAL SCALE - 1" = 20'
 VERTICAL SCALE - 1" = 5'



DRAWN BY: BRO	DATE: 11/19
CHECKED BY: MWK, AMB	DATE: 11/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY



CITY OF ASHLAND

THE COTTAGES AT WEST VILLAGE
 PHASES I
 CIVIL IMPROVEMENTS
 GRADING SECTIONS

PROJECT NO. -
 DRAWING NO. D.3

PART I: ESCP NARRATIVE FORM

PROJECT NAME: THE COTTAGES AT WEST VILLAGE, PHASE 1 PROJECT GREATER THAN 20 ACRES: NO
 SITE ACREAGE: 0.83 AC
 DISTURBED AREA: 0.83 AC (THIS PROJECT IS INCLUDED W/ 1200-C PERMIT, DEQ FILE# 126B73/EPA)
 LOCATION: T. 39 S., R. 1 E., SECTION 5, W.M.
 TAX LOT 200
 LATITUDE: 42.208487°
 LONGITUDE: -122.719855°

APPLICANT NAME: TAYLORED ELEMENTS
 CONTACT: KYLE TAYLOR
 ADDRESS: 1236 DISK DRIVE, STE. A
 MEDFORD, OR 97501
 TELEPHONE: (541)690-1617

ESC CONSTRUCTION NOTES:

- ① FILTER FABRIC SEDIMENTATION FENCE INSTALLED AT THE LOCATIONS SHOWN PER DETAIL NO. RD1040, SHEET E.2.
 *NOTE: EXISTING SEDIMENTATION FENCE INSTALLED FOR WEST VILLAGE SUBDIVISION MAY BE USED PROVIDED IT IS WELL MAINTAINED.
- ② PROPOSED AND EXISTING STORM DRAIN INLETS SHALL BE PROTECTED BY INLET BARRIERS PER DETAIL NO. RD1015, SHEET E.2.
- ③ CONCRETE WASH-OUT PER RD1070, SHEET E.2, OR APPROVED EQUAL LOCATION MAY VARY.

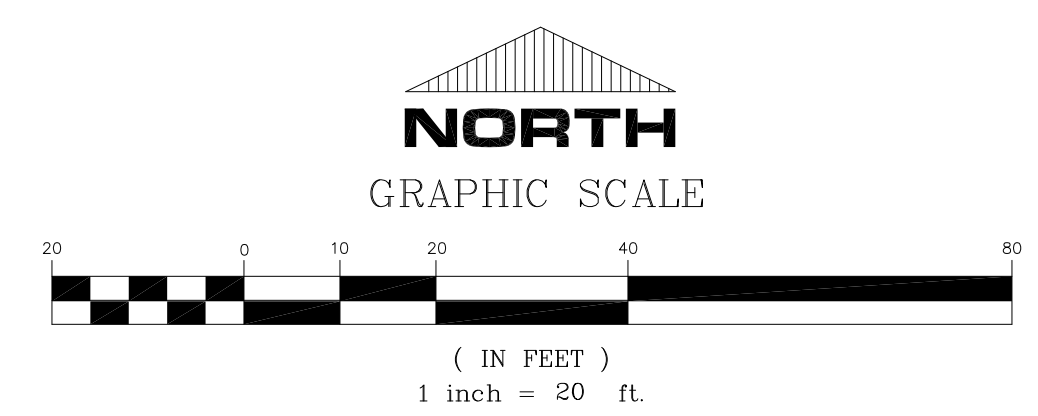
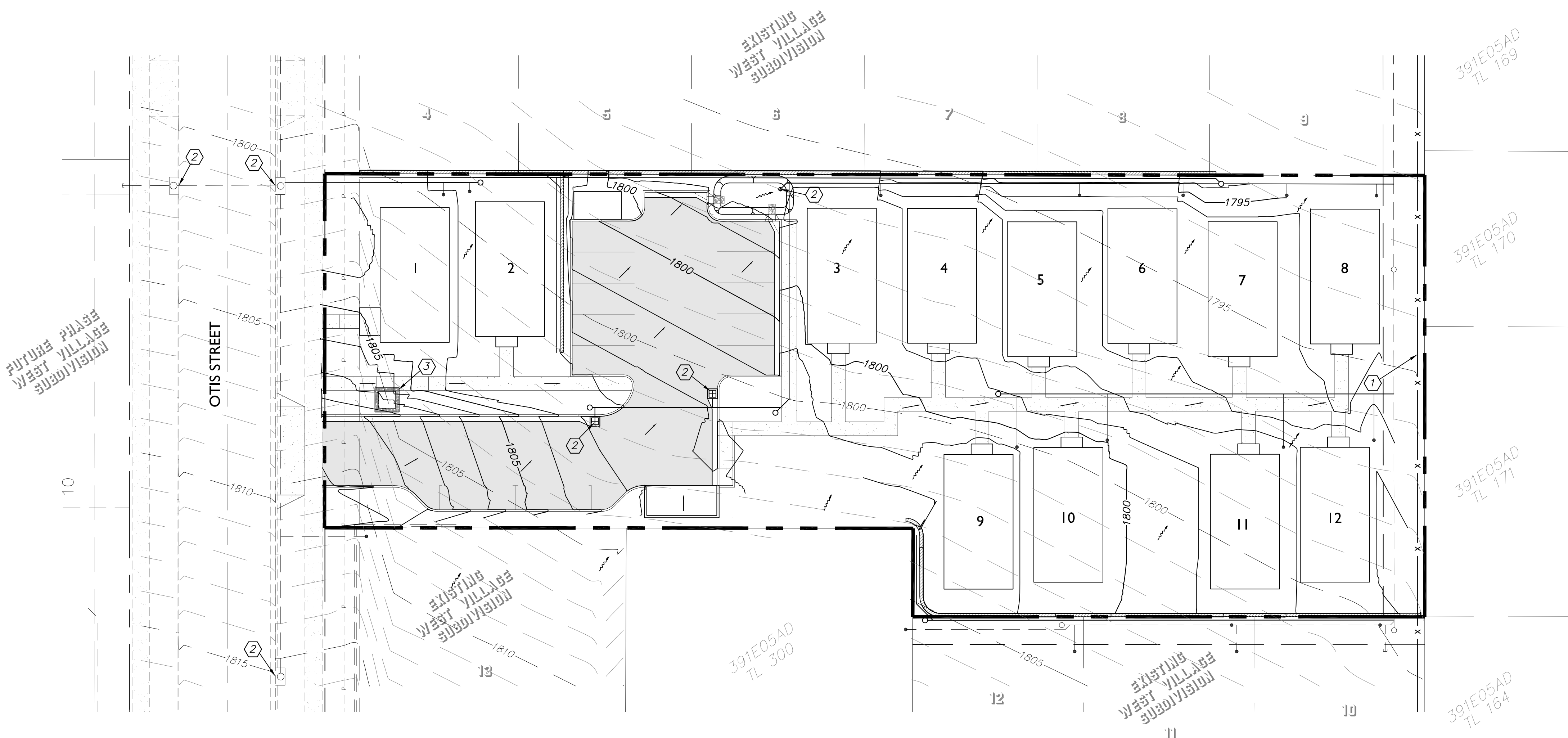
NOTE:
 ROCKED CONSTRUCTION ENTRANCE NOT REQUIRED DUE TO PAVED ACCESS TO CONSTRUCTION SITE. CONTRACTOR TO INSURE THAT EXISTING PAVED AREA REMAINS CLEAR AND FREE OF DEBRIS.

SEEDING NOTES:

HYDROSEED SEED MIX:
 35% HARD FESCUE
 35% SHEEP FESCUE
 10% CANADA BLUEGRASS
 20% ANNUAL RYE

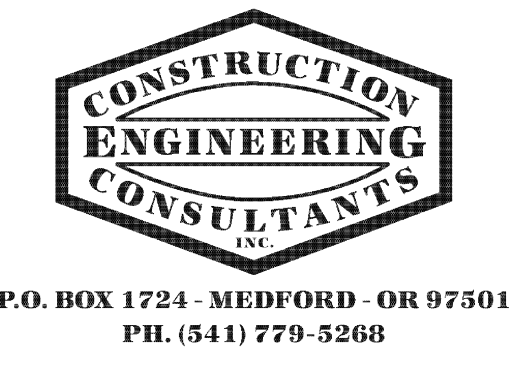
SEED SHALL BE APPLIED AT A MINIMUM RATE OF 75 LBS/ACRE.
 THE CONTRACTOR SHALL APPLY A COMMERCIALLY PREPARED FERTILIZER WITH THE ANALYSIS OF 16-20-0-14, APPLIED AT A RATE OF 250 LBS/ACRE.
 MULCH SHALL BE APPLIED AT A RATE OF 2000 LBS/ACRE. MULCH SHALL BE VIRGIN WOOD CELLULOSE FIBER SPECIFICALLY PROCESSED AS A HYDROSEEDING MULCH AND CONTAIN NO GROWTH OR GERMINATION INHIBITING FACTORS.
 TACKIFIER SHALL BE APPLIED AT THE RATE OF 40 POUNDS PER ACRE.

NOTE:
 CONTRACTOR TO PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT POSSIBLE TO PREVENT AREAS OF EROSION. CONTRACTOR TO APPLY TEMPORARY HYDROSEED OR OTHER APPROVED BMP TO ANY AREA THAT IS CLEARED AND NOT TO BE WORKED WITHIN A 14 DAY PERIOD.



CONTOURS
 CONTOUR INTERVAL = 1'
 INDEX INTERVAL = 5'
 EXISTING GROUND --- ELEV ---
 FINISHED GROUND ——— ELEV ———

CONTRACTOR SHALL BE ADVISED THAT THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY.



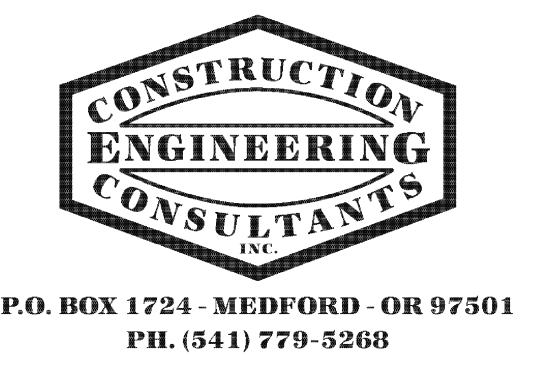
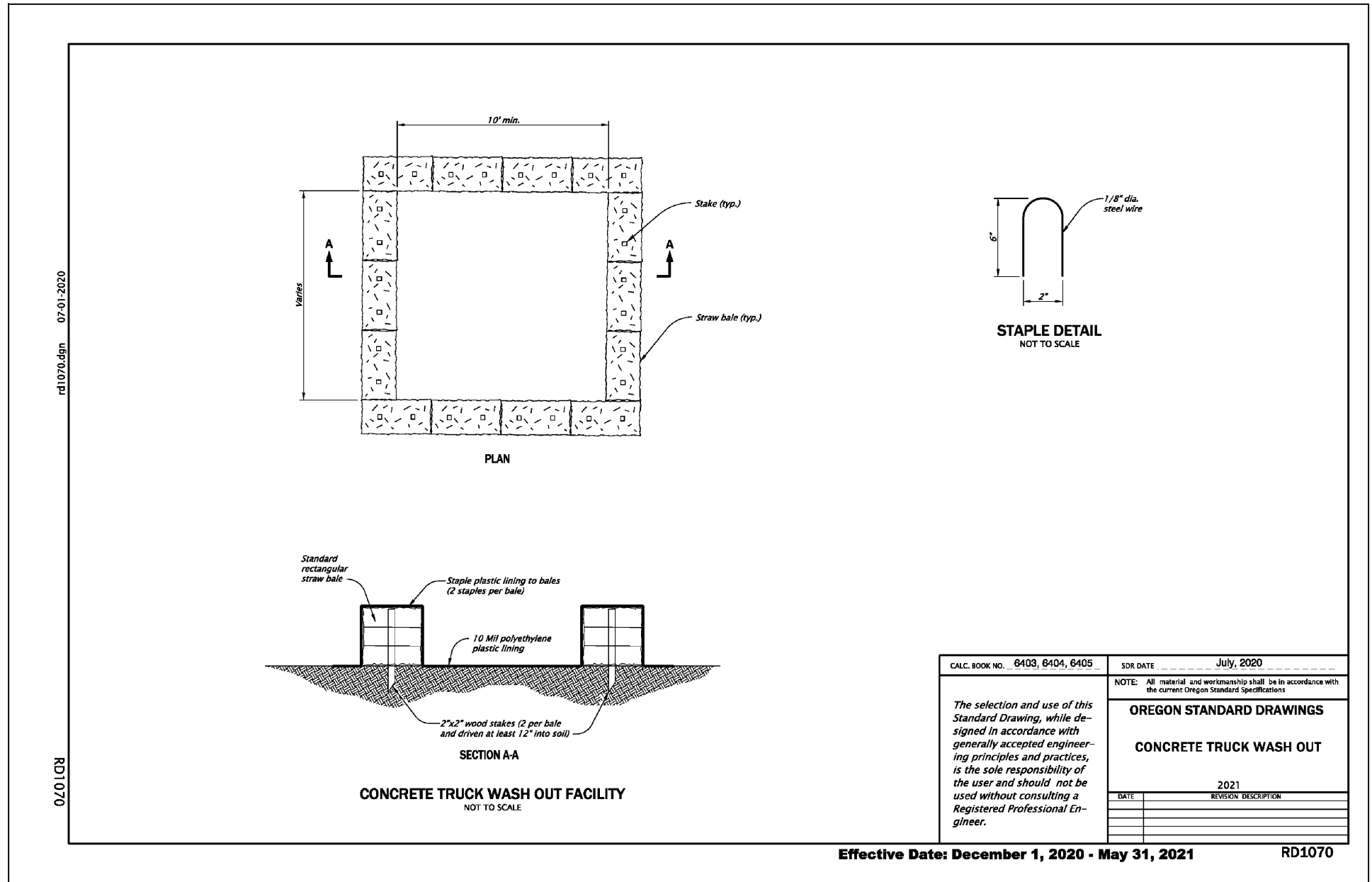
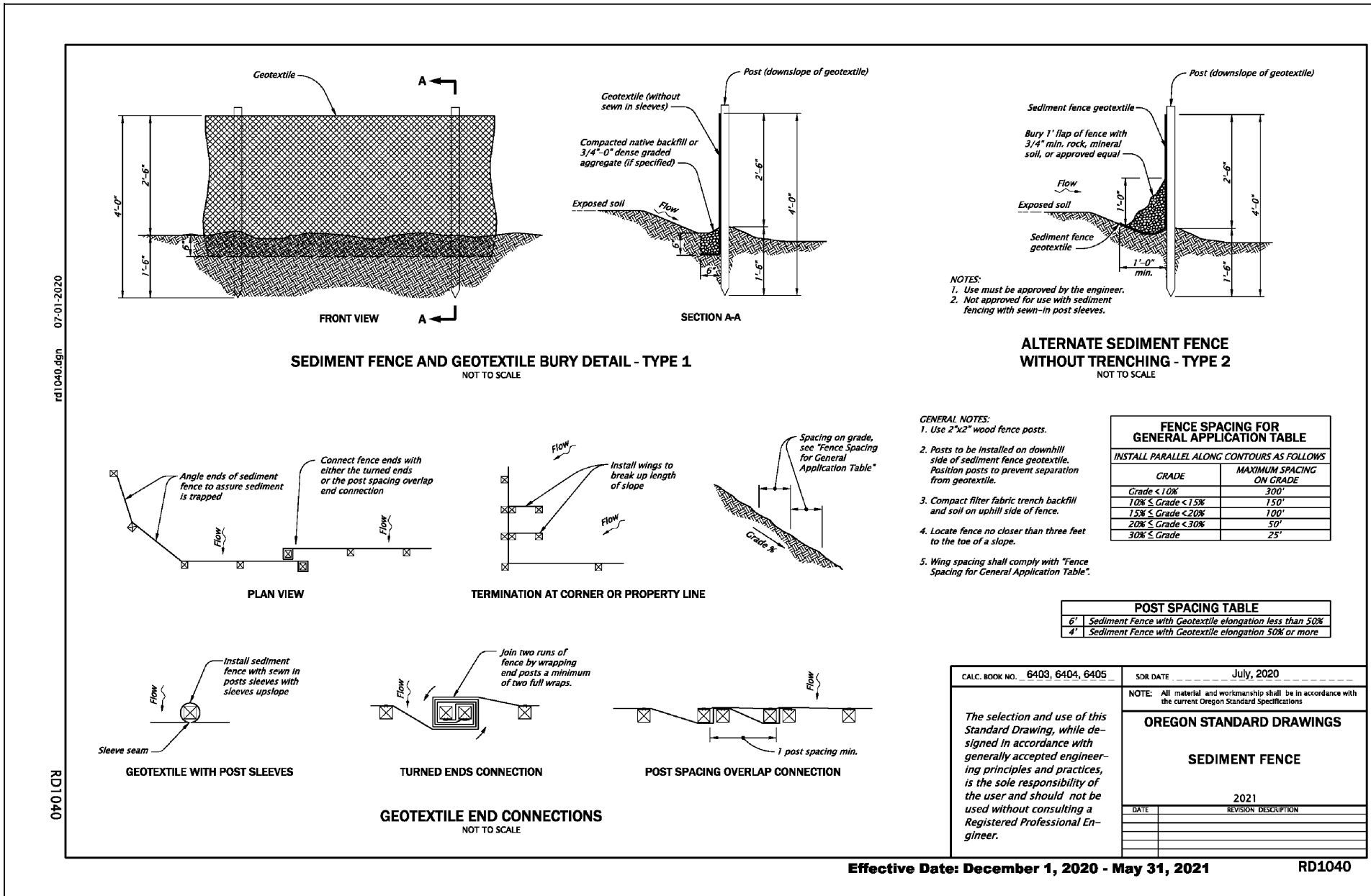
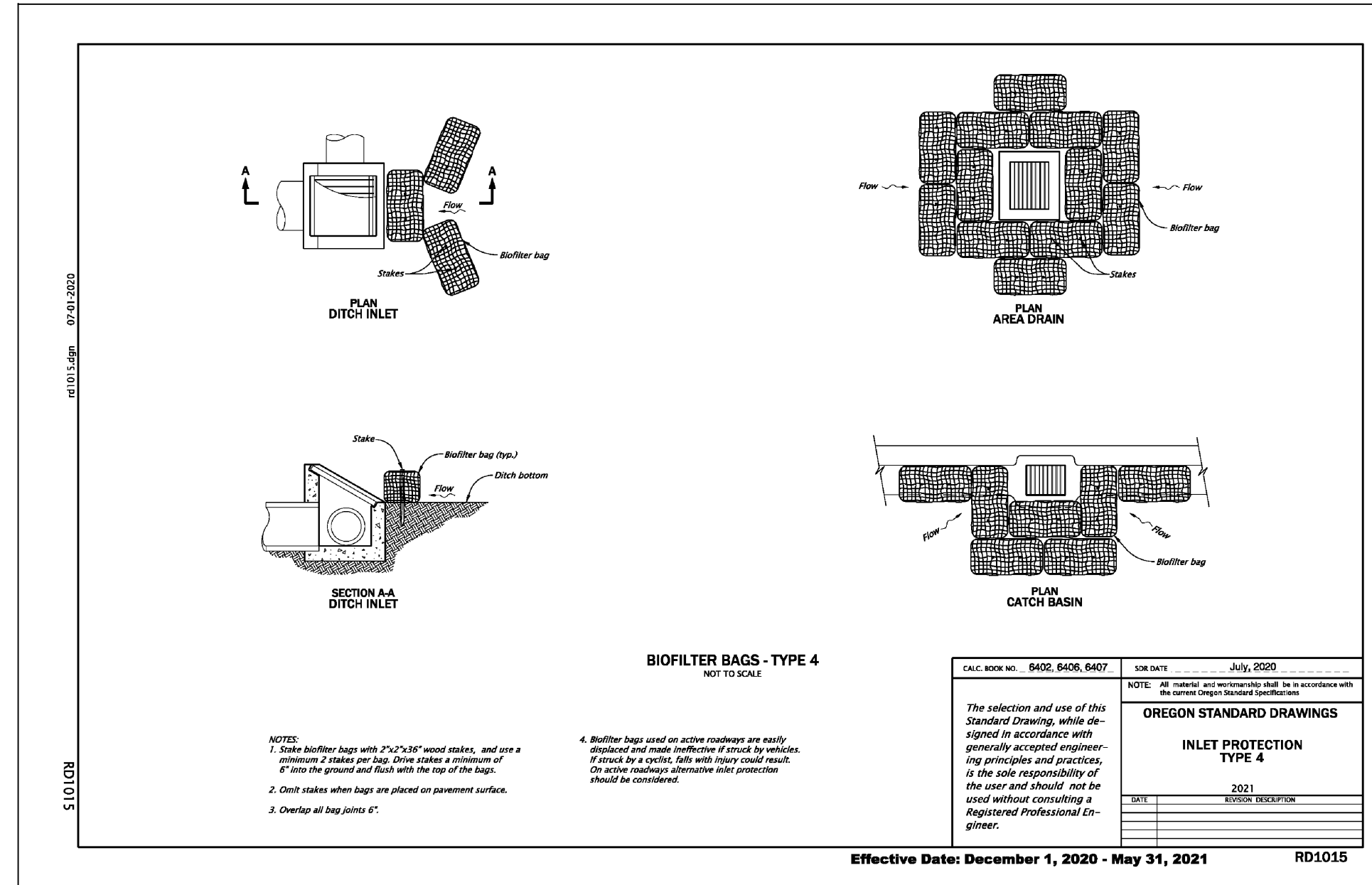
DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY



CITY OF ASHLAND
 THE COTTAGES AT WEST VILLAGE
 PHASE I
 CIVIL IMPROVEMENTS
 EROSION & SEDIMENT CONTROL PLAN

PROJECT NO. -
 DRAWING NO. E.1



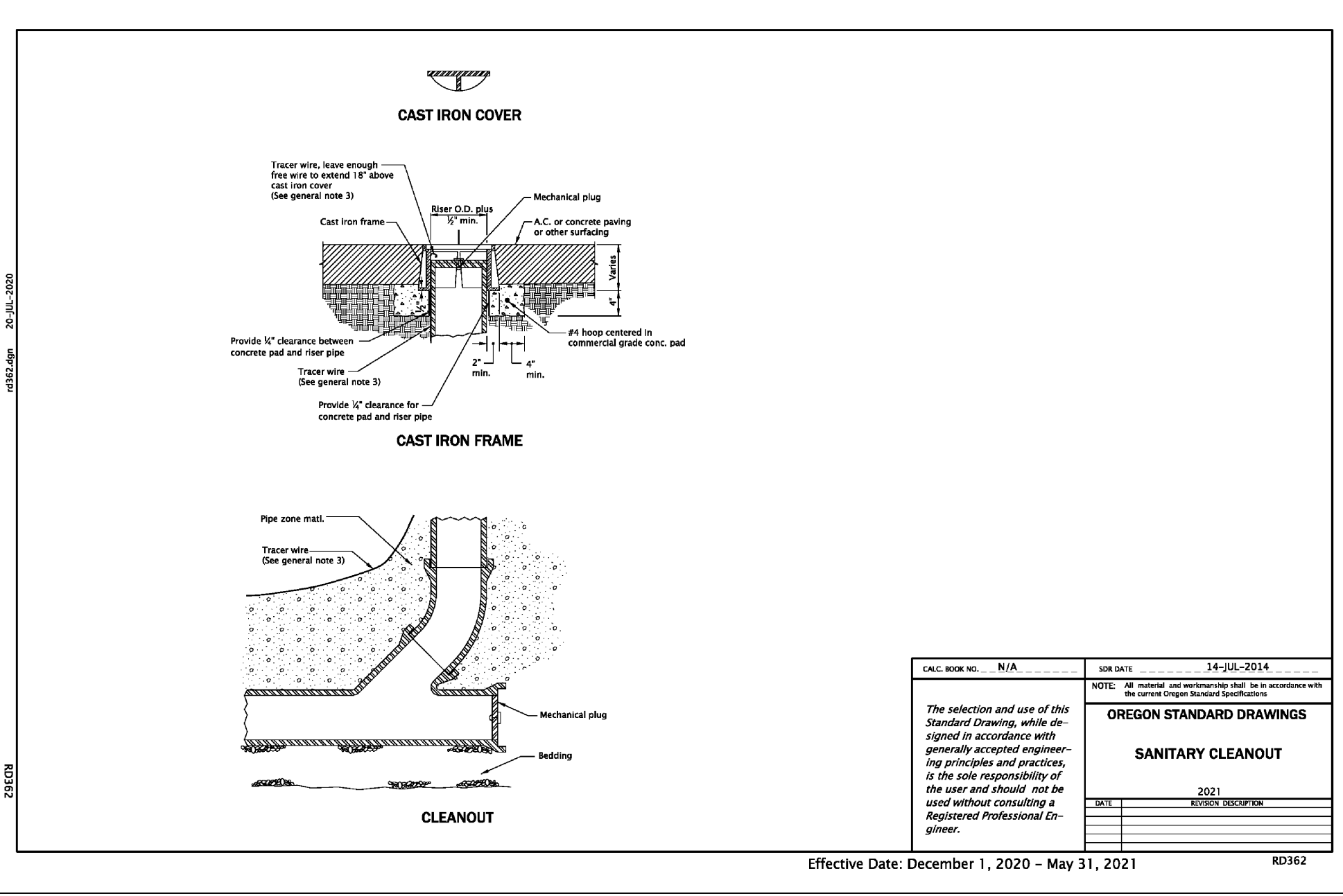
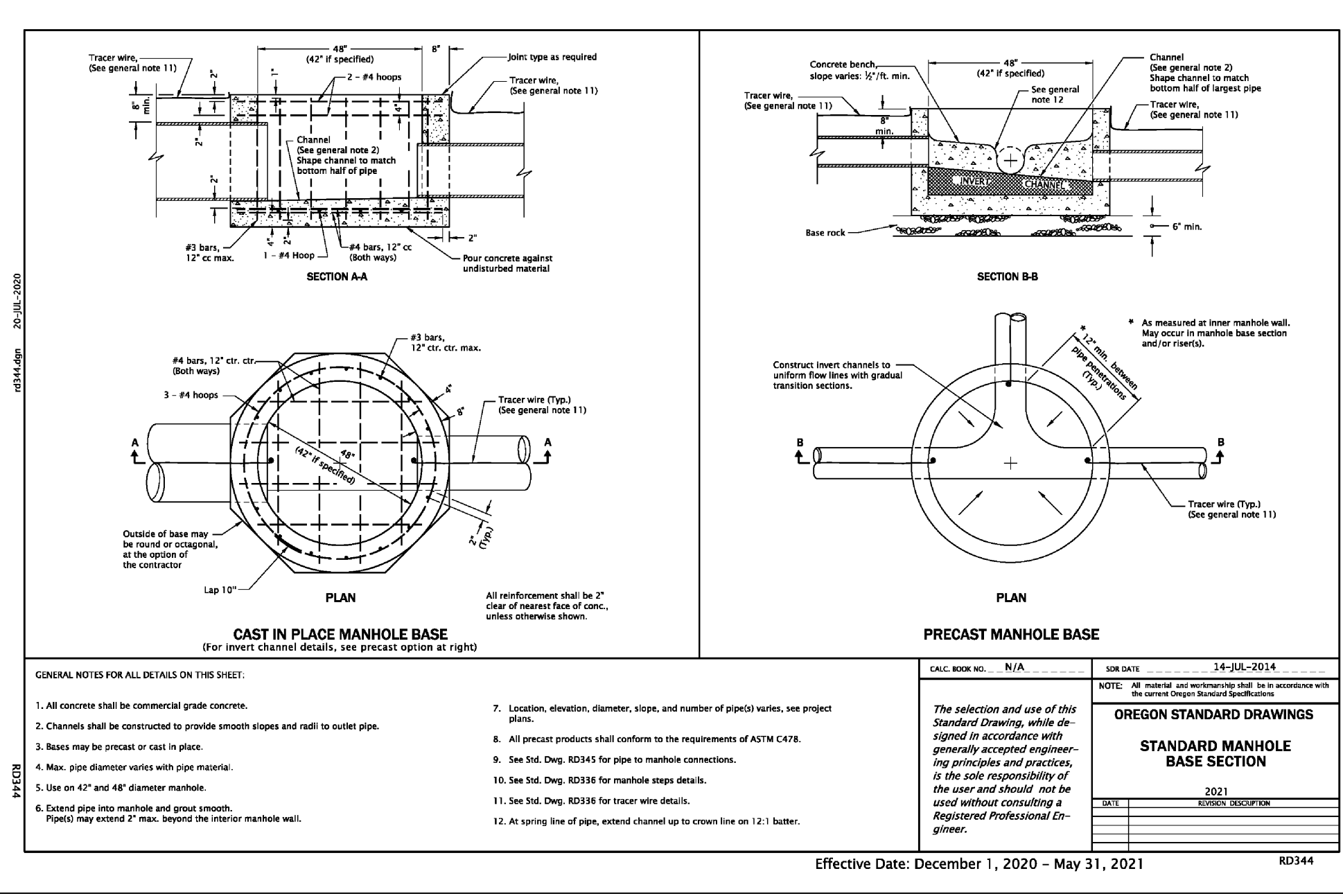
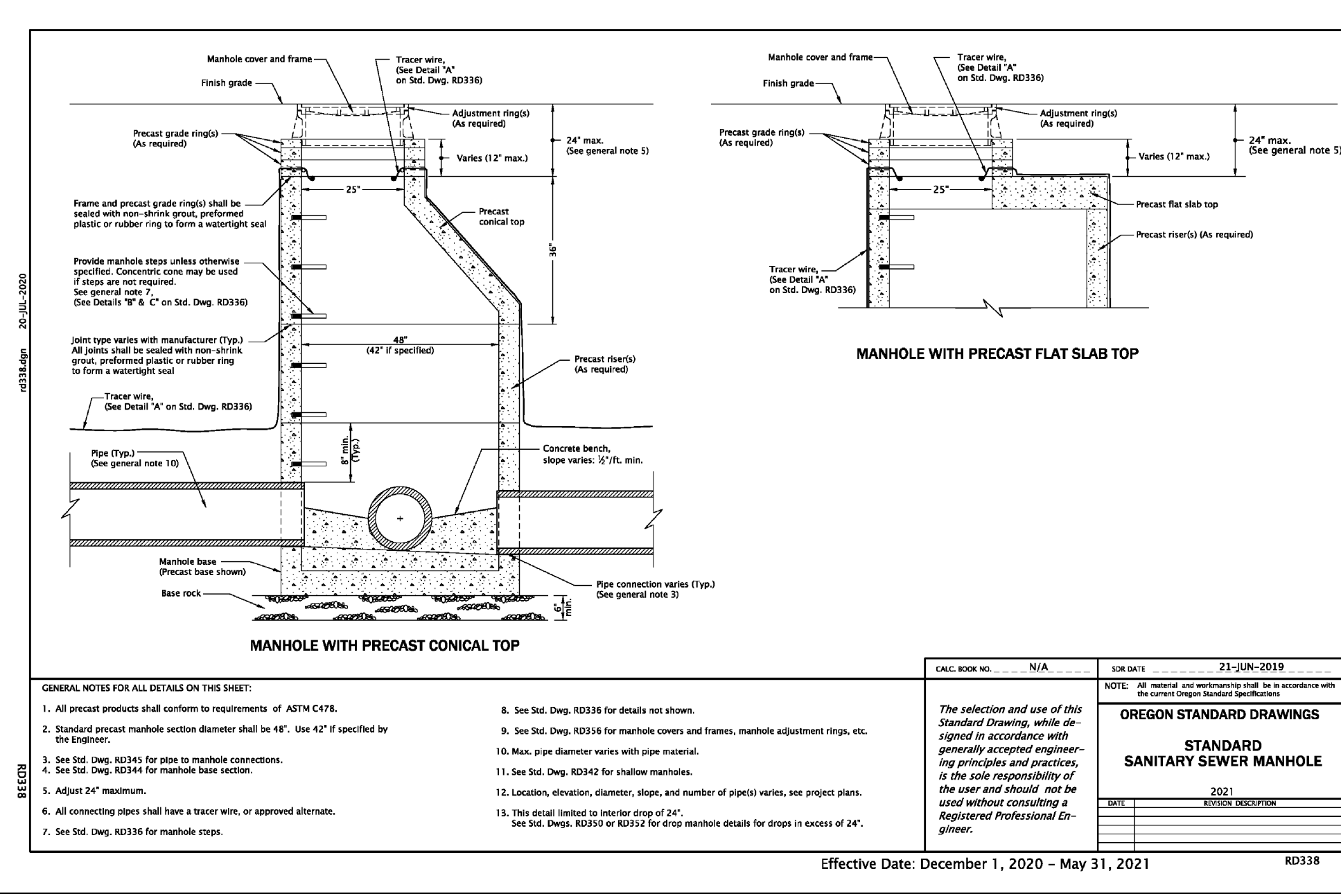
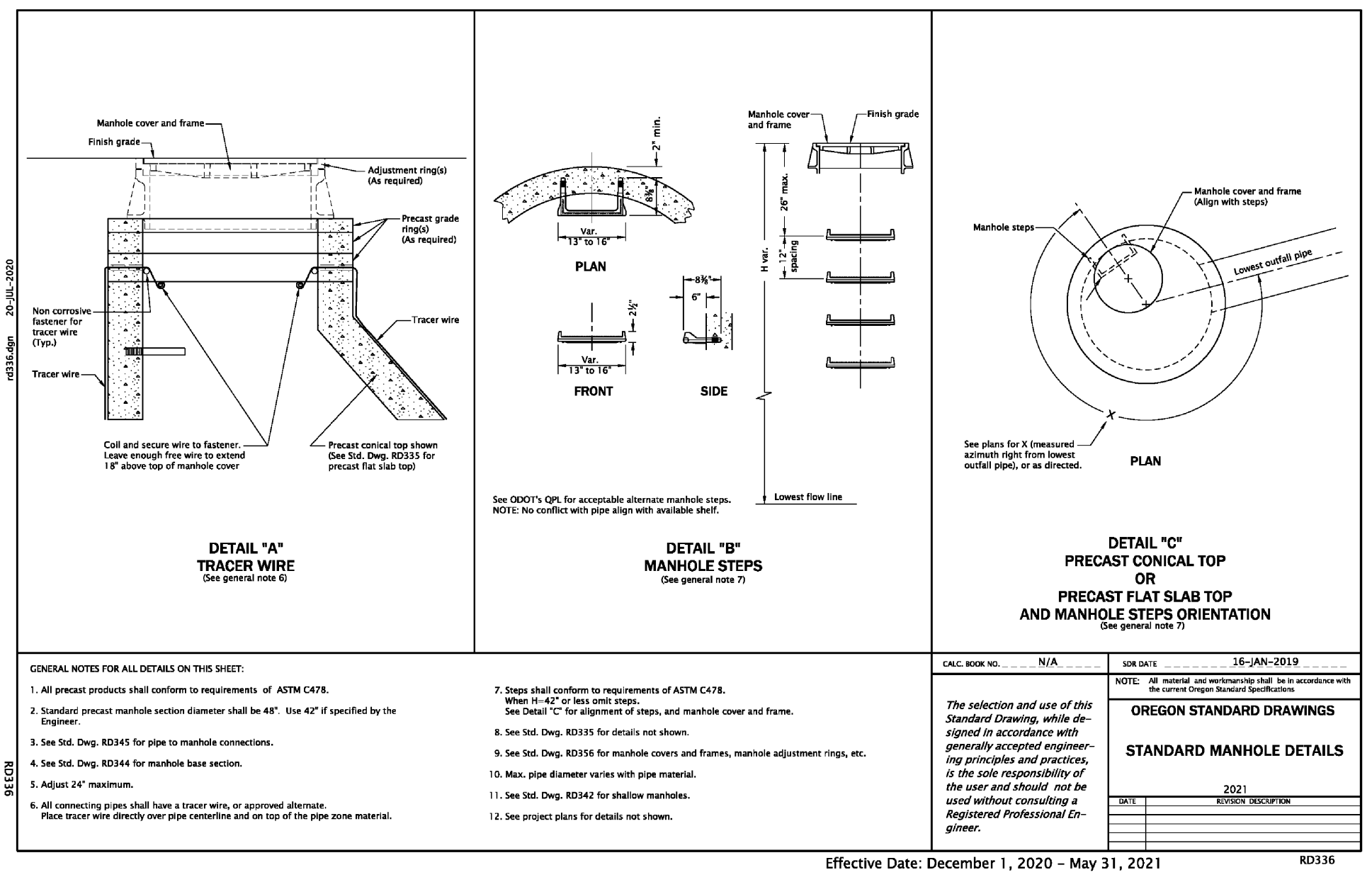
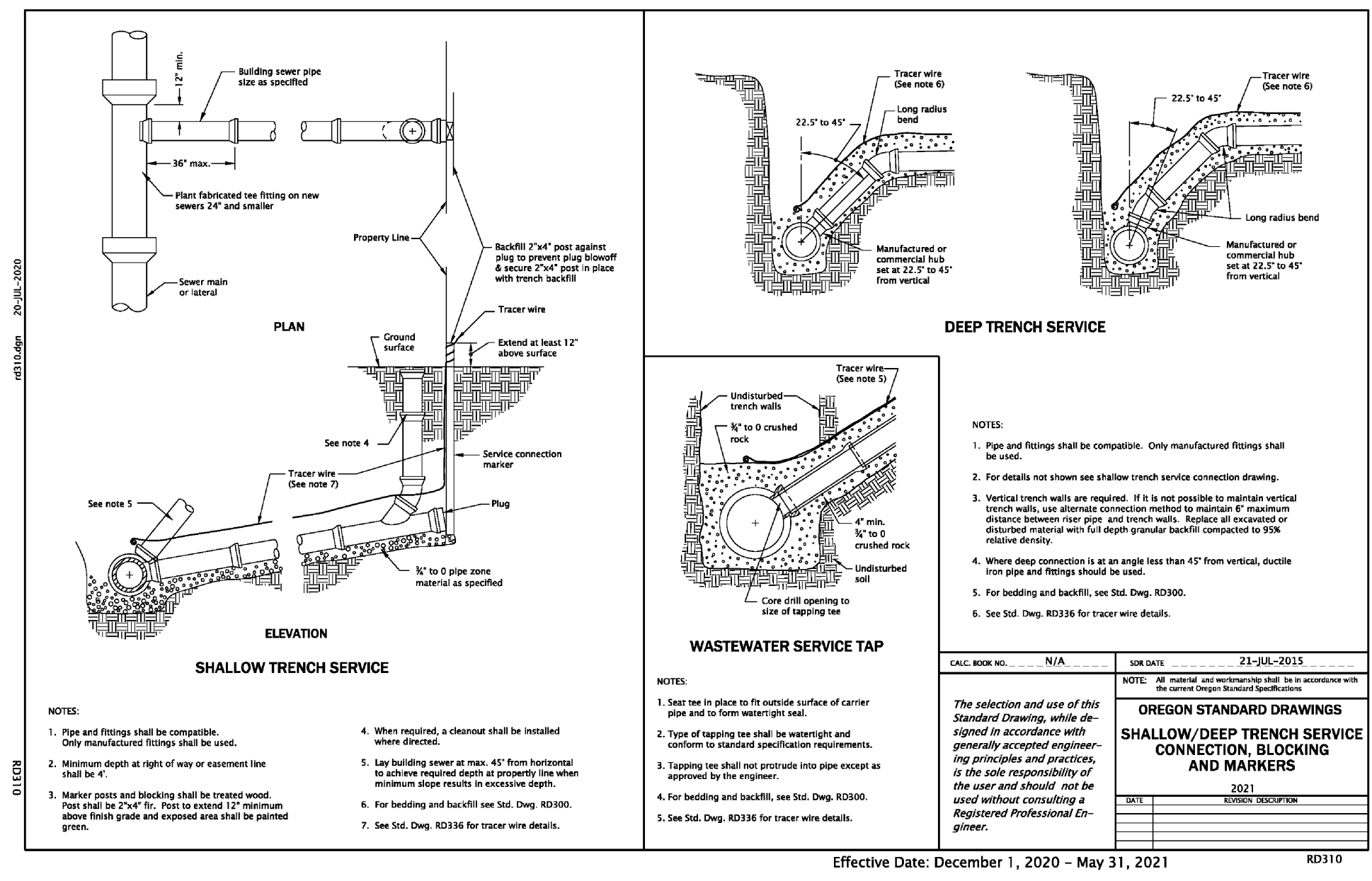
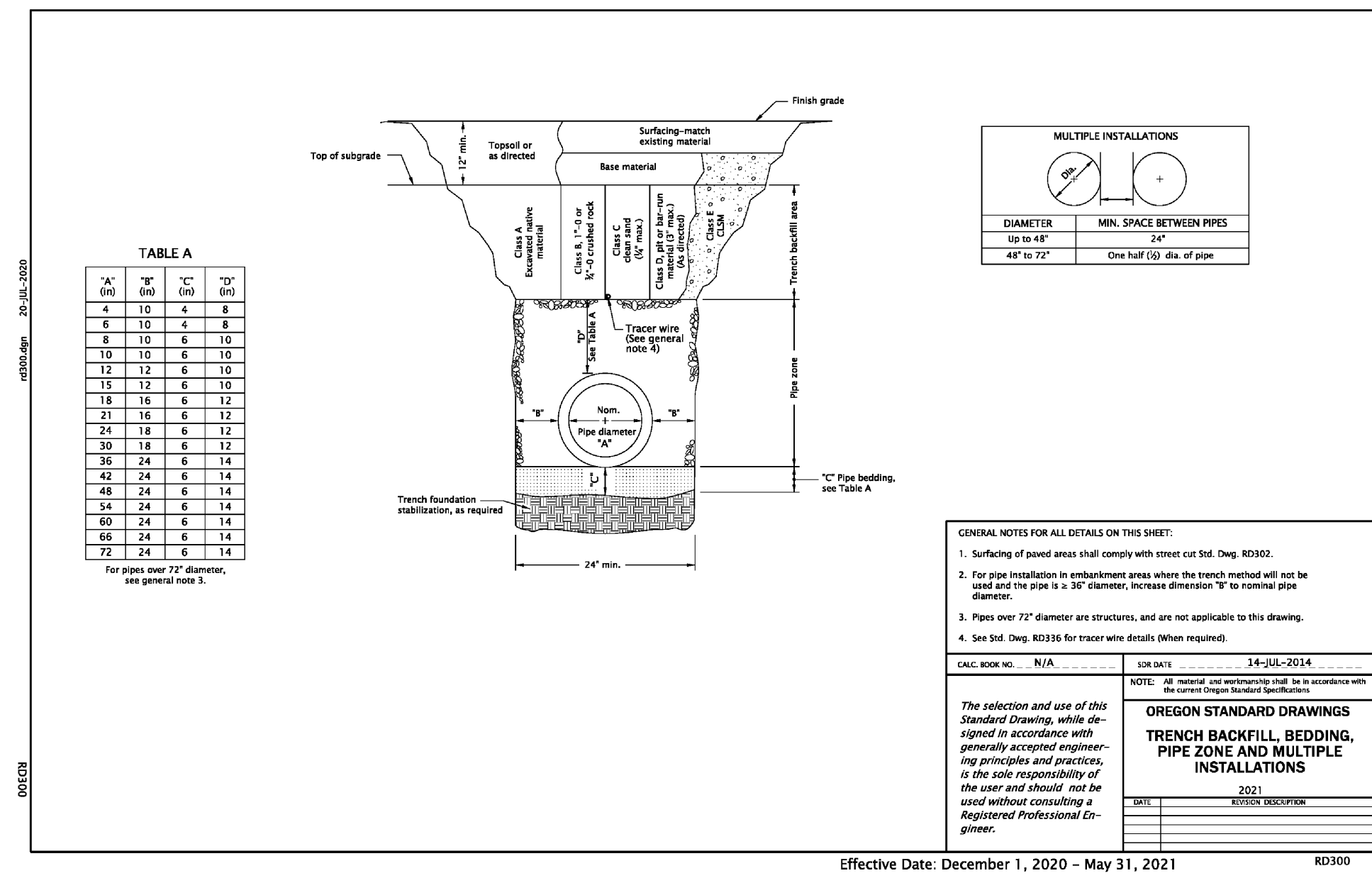
DRAWN BY: BRO	DATE: 10/19
CHECKED BY: AMB	DATE: 10/19
AGENCY REVIEW:	DATE:
AGENCY REVIEW:	DATE:
APPROVAL:	DATE:
APPROVAL:	DATE:

NO.	REVISION	DATE	BY

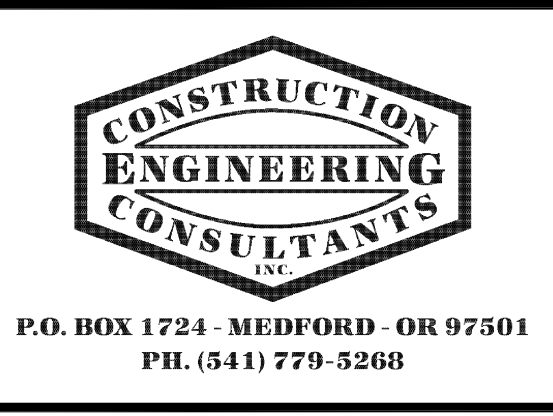


CITY OF ASHLAND
THE COTTAGES AT WEST VILLAGE
PHASE I
CIVIL IMPROVEMENTS
EROSION & SEDIMENT CONTROL PLAN

PROJECT NO. -
DRAWING NO. E.2

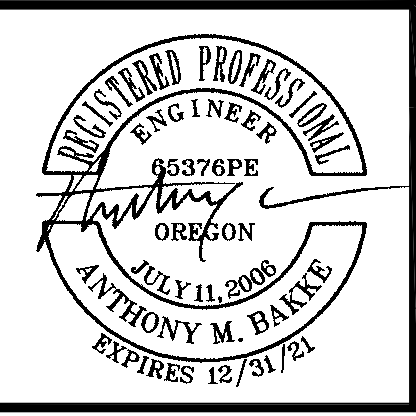


ALL STANDARD DETAILS ARE PROVIDED FOR REFERENCE ONLY!!! IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND USE THE MOST CURRENT CITY ACCEPTED STANDARD DETAILS.

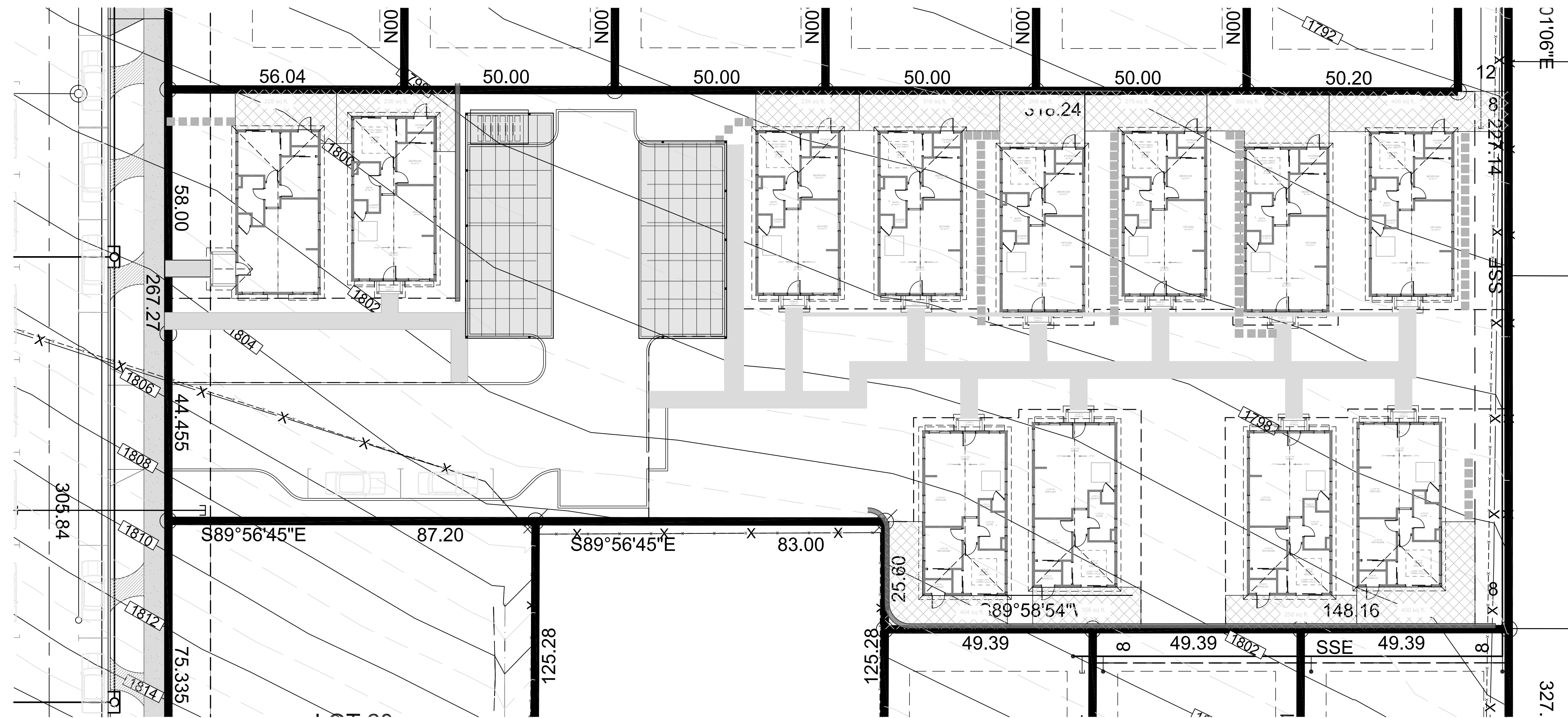


DRAWN BY:	BRO	DATE:	10/19
CHECKED BY:	AMB	DATE:	10/19
AGENCY REVIEW:		DATE:	
AGENCY REVIEW:		DATE:	
APPROVAL:		DATE:	
APPROVAL:		DATE:	

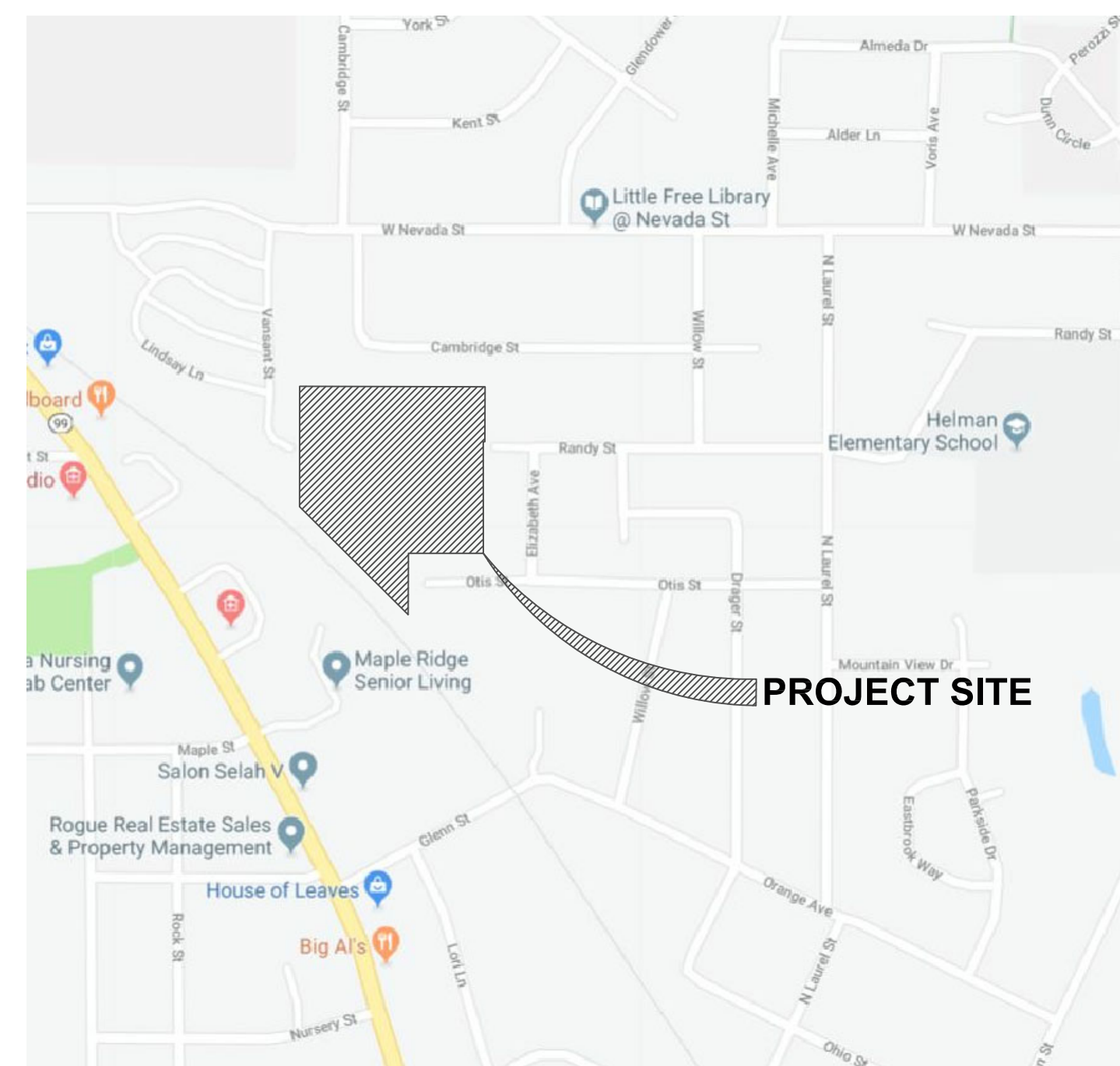
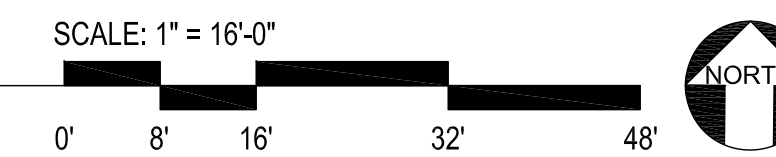
NO.	REVISION	DATE	BY



CITY OF ASHLAND		PROJECT NO.
THE COTTAGES AT WEST VILLAGE PHASES I CIVIL IMPROVEMENTS		
DETAILS		DRAWING NO.
		F.1



1 DEVELOPMENT PLAN
Scale: 1" = 16'-0"

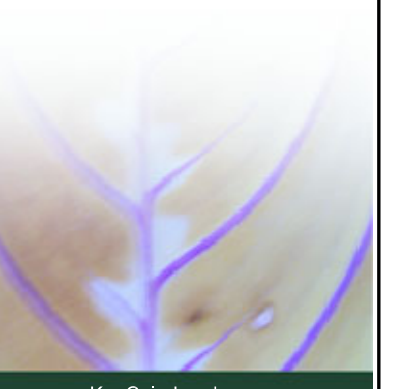


VICINITY MAP

NOT TO SCALE

PROJECT INFORMATION	
OWNERS:	CMK DEVELOPMENT LLC 1236 DISK DR., STE A MEDFORD, OR, 97501
LANDSCAPE ARCHITECT:	KERRY KENCAIRN KENCAIRN LANDSCAPE ARCHITECTURE 545 A. STREET, SUITE 3 ASHLAND, OR, 97520 541.488.3194
LAND USE PLANNER:	AMY GUNTER ROGUE PLANNING & DEVELOPMENT, LLC 33 N CENTRAL AVE., STE 213 MEDFORD, OR, 97501 541.951.4020
LAND SURVEYOR:	JIM HIBBS L.J. FRIAR & ASSOCIATES P.C. 2714 NORTH PACIFIC HIGHWAY MEDFORD, OR, 97501
CIVIL ENGINEER:	TONY BAKKE CONSTRUCTION ENGINEERING CONSULTANTS 132 W MAIN ST, STE 103 MEDFORD, OR, 97501
LOCATION:	OTIS ST., ASHLAND, OR, 97520 LOT 391E05AD 200 5.92 Ac (SF)

SITE INFORMATION	
TAX LOT (NUMBER)	LOT 391E05AD 200
LOT SIZE	0.86 Ac - 37,541 SF
ZONING DESIGNATION	R-1-5 AND R-1-5-P
NUMBER OF UNITS	12 @ 925 SF (ROOF COVER) 29.5 %
PAVED SURFACE	7,309 SF (5,526 PKG ETC - 1,783 SW) 19.4 %
PERCENT LANDSCAPE	PERVIOUS LANDSCAPE 51.1%
SHEET KEY	
COVER	COVER + SITE PLAN
L1.0	TREE PROTECTION PLAN
L2.0	SITE PLAN - OPEN SPACE
L3.0	LANDSCAPE IRRIGATION PLAN
L3.1	LANDSCAPE IRRIGATION DETAILS
L4.0	LANDSCAPE PLANTING PLAN
L4.1	LANDSCAPE PLANTING DETAILS



DRAWN BY:
IC

THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

JOB NO. 1921
REVISION DATE

COVER

ISSUE DATE:
02/08/21

COVER



DRAWN BY:
IC

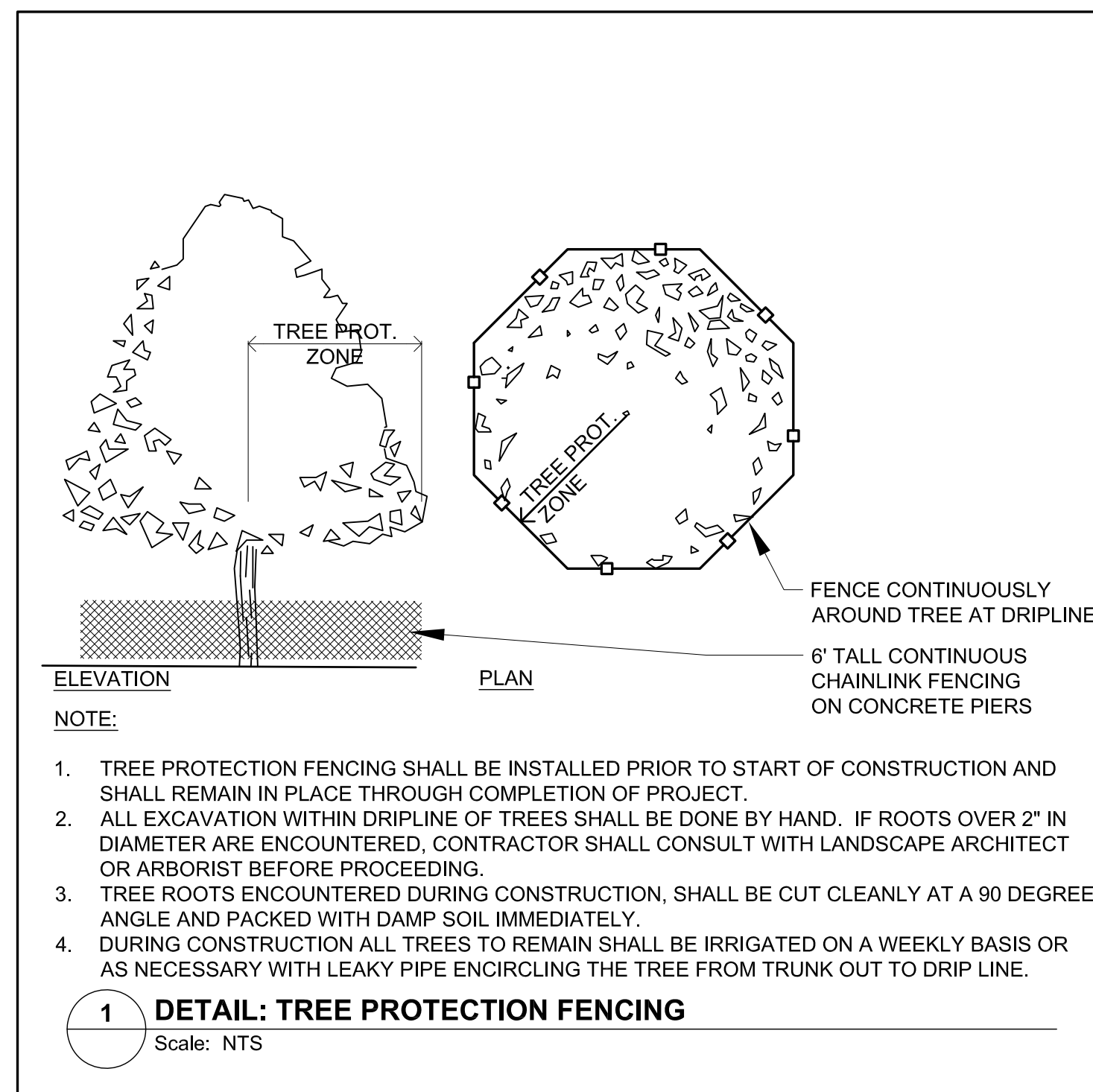
THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

JOB NO. 1921
REVISION DATE

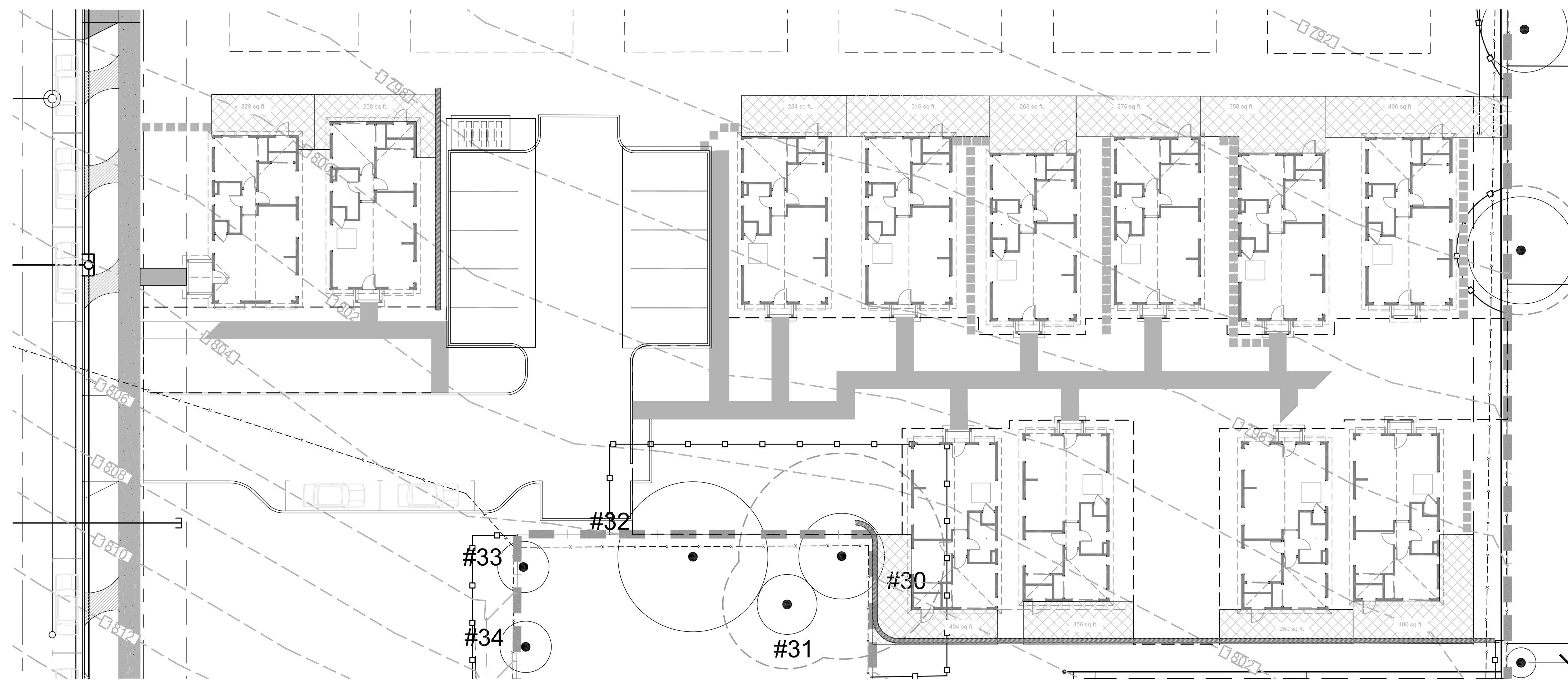
SITE TREE
PRESERVATION
PLAN

ISSUE DATE:
02/08/21

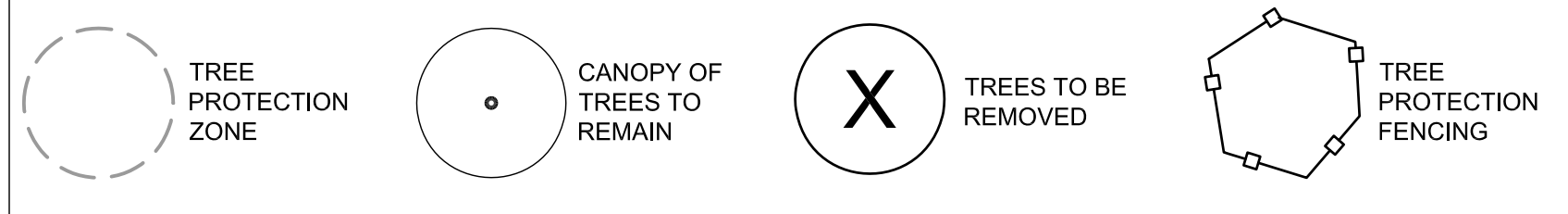
L 1.0



- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGH COMPLETION OF PROJECT.
- ALL EXCAVATION WITHIN DRIPLINE OF TREES SHALL BE DONE BY HAND. IF ROOTS OVER 2" IN DIAMETER ARE ENCOUNTERED, CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT OR ARBORIST BEFORE PROCEEDING.
- TREE ROOTS ENCOUNTERED DURING CONSTRUCTION, SHALL BE CUT CLEANLY AT A 90 DEGREE ANGLE AND PACKED WITH DAMP SOIL IMMEDIATELY.
- DURING CONSTRUCTION ALL TREES TO REMAIN SHALL BE IRRIGATED ON A WEEKLY BASIS OR AS NECESSARY WITH LEAKY PIPE ENCIRCLING THE TREE FROM TRUNK OUT TO DRIP LINE.

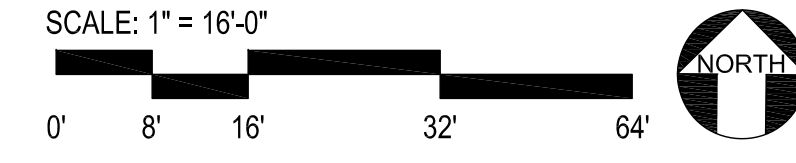


THE TREE PROTECTION ZONE FOR EACH TREE IS BASED ON THE GUIDELINES ESTABLISHED BY:
Matheny, N. & Clark, J. 1998. *Trees and Development: A Technical Guide to Preservation of Trees During Land Development.* p. 72.



TREE PROTECTION AND REMOVAL NOTES

- PRIOR TO DELIVERING EXCAVATION EQUIPMENT OR COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE SITE, THE GENERAL CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING WITH THE LANDSCAPE ARCHITECT AND EXCAVATION SUPERVISOR PRIOR TO COMMENCING ANY WORK ON THE SITE. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR 48 HRS. IN ADVANCE FOR ALL SITE VISITS REQUESTED. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE THAT CONSTRUCTION MAY BEGIN AFTER ALL OF THE DESCRIBED FENCING IS IN PLACE. FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED.
- FENCES MUST BE ERRECTED TO PROTECT TREES TO BE PRESERVED AS SHOWN IN DIAGRAM. FENCING SHALL BE 6' TALL TEMPORARY CHAIN LINK PANELS INSTALLED WITH METAL CONNECTIONS TO ALL PANELS AREA INTEGRATED, THESE FENCES SHALL BE INSTALLED SO THAT IT DOES NOT ALLOW PASSAGE OF PEDESTRIANS AND/ OR VEHICLES THROUGH IT. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.
- CONSTRUCTION TRAILERS, TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED TREE PROTECTION ZONES AT ALL TIMES.
- ALL PROPOSED UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRANSVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE ROOTS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY PROJECT PLANS CONFLICT WITH THIS REQUIREMENT.
- NO MATERIALS, EQUIPMENT, SPOIL, OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE (FENCED AREA).
- NOTIFY THE LANDSCAPE ARCHITECT IF TREE PRUNING IS REQUIRED CONSTRUCTION CLEARANCE.
- ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING TREES SHALL BE COMPENSATED FOR BY THE OFFENDING PARTY, BEFORE THE PROJECT WILL BE CONSIDERED COMPLETE.
- WATERING SCHEDULE: WATERING PROTECTED TREES SHALL FOLLOW THESE STANDARDS, HOWEVER PERIODS OF EXTREME HEAT, WIND, RAINFALL OR DROUGHT MAY REQUIRE MORE OR LESS WATER THAN RECOMMENDED IN THESE NOTES.
 - MOST SPECIES: 1 TIME PER MONTH DURING IRRIGATION SEASON (USUALLY MARCH THROUGH SEPTEMBER)
 - QUERCUS/OAK: DEEP WATER IN MAY AND SEPTEMBER, DO NOT WATER DURING OTHER MONTHS. FOR OAKS ALREADY IN THE VICINITY OF IRRIGATED CONDITIONS, AUTOMATIC SPRINKLERS OR REGULAR WATERING SHALL NOT BE ALLOWED TO SPRAY ON OR WITHIN 3 FEET OF THE TRUNK. THE WATER SHALL NOT BE ALLOWED TO POOL OR DRAIN TOWARDS THE TRUNK.
 - WATERING METHOD: HAND WATERING SYSTEMS, RECOMMENDED FOR TREES THAT ARE PART OF A DEVELOPMENT PROJECT THAT MUST BE WATERED TO INSURE TREE SURVIVAL DURING
- THE COURSE OF CONSTRUCTION UNTIL AUTOMATIC IRRIGATION IS INSTALLED.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED ON THE UPHILL SIDE OF THE TREE PROTECTION ZONE TO PREVENT SILTATION AND/ OR EROSION WITHIN THE TREE PROTECTION ZONE.
- BEFORE GRADING, PAD PREPARATION, OR EXCAVATION FOR THE FOUNDATIONS, FOOTINGS, WALLS, OR TRENCHING, ANY TREES WITHIN THE SPECIFIC CONSTRUCTION ZONE SHALL BE ROOT PRUNED 1 FOOT OUTSIDE THE TREE PROTECTION ZONE BY CUTTING ALL ROOTS CLEANLY AT A 90 DEGREE ANGLE TO A DEPTH OF 24 INCHES. ROOTS SHALL BE CUT BY MANUALLY DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW, VIBRATING KNIFE, ROCK SAW, NARROW TRENCHER WITH SHARP BLADES, OR OTHER APPROVED ROOT-PRUNING EQUIPMENT.
- ANY ROOTS DAMAGED DURING GRADING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY AT A 90 DEGREE ANGLE TO THE ROOT WITH A SAW. PLACE DAMP SOIL AROUND ALL CUT ROOTS TO A DEPTH EQUALING THE EXISTING FINISH GRADE WITHIN 4 HOURS OF CUTS BEING MADE.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROAD BED OF 6 INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6 INCH DEPTH.
- SPOIL FROM TRENCHES, BASEMENTS, OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- NO BURN PILES OR DEBRIS PILES SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE. NO ASHES, DEBRIS, OR GARBAGE MAY BE DUMPED OR BURIED WITHIN THE TREE PROTECTION ZONE.
- MAINTAIN FIRE-SAFE AREAS AROUND FENCED AREA. ALSO, NO HEAT SOURCES, FLAMES, IGNITION SOURCES, OR SMOKING IS ALLOWED NEAR MULCH OR TREES.
- DO NOT RAISE THE SOIL LEVEL WITHIN THE DRIP LINES TO ACHIEVE POSITIVE DRAINAGE, EXCEPT TO MATCH GRADES WITH SIDEWALKS AND CURBS, AND IN THOSE AREAS, FEATHER THE ADDED TOPSOIL BACK TO EXISTING GRADE AT APPROXIMATELY 3:1 SLOPE.
- REMOVE THE ROOT WAD FOR EACH TREE THAT IS INDICATED ON THE PLAN AS BEING REMOVED.
- EXCEPTIONS TO THE TREE PROTECTION SPECIFICATIONS MAY ONLY BE GRANTED IN EXTRAORDINARY CIRCUMSTANCES WITH WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY WORK COMMENCING.
- AS A PROTECTIVE MEASURE TO COMPENSATE FOR CONSTRUCTION IMPACTS, TWO TO SIX WEEKS PRIOR TO CONSTRUCTION, ALL RETAINED TREES SHOWN ON THIS PLAN SHALL RECEIVE AN APPLICATION OF MYCOAPPLY ALL PURPOSE SOLUBLE PER MANUFACTURER'S INSTRUCTIONS. THIS MYCORRHIZAE PRODUCT IS A SPECIALLY FORMULATED NATURAL ROOT BIOSTIMULANT WHICH ENHANCES THE ABSORPTIVE SURFACE AREA OF THE TREES' ROOT SYSTEMS. THIS PROMOTES AND IMPROVES NUTRIENT AND WATER UPTAKE CAPABILITIES OF THE REMAINING ROOT STRUCTURE. DISTRIBUTE MYCOAPPLY EVENLY WITHIN THE ACTIVE ROOT ZONE OF RETAINED TREES. APPLY 30 GALS. OF SOLUTION PER TREE 6" DBH AND GREATER, A MINIMUM OF 4" BELOW SOIL SURFACE IN QUANTITIES OF 1/2 GALLON AT EACH POINT OF APPLICATION. LOCATE THE ACTIVE ROOT ZONES WITH LANDSCAPE ARCHITECT PRESENT. MYCOAPPLY IS AVAILABLE FROM MYCORRHIZAL APPLICATION, INC., PHONE (541) 476-3985.



#	Species	DBH (Inches)	Height (Feet)	Crown Diameter (Feet)	Tree Protection Zone Radius (Feet)	Tolerance to Construction	Condition	Notes
11	Acer saccharinum	12"	30'	25'	15'	Poor	GOOD	OFF-SITE
12	Prunus sp.	6"	14'	18'	N/A	Good	GOOD	OFF-SITE
30	Populus tremuloides	(3) 8"	28'	20'	24'	Poor	GOOD	OFF-SITE
31	Populus tremuloides	12"	40'	10'	15'	Poor	GOOD	OFF-SITE
32	Prunus sp.	(multi)	30'	36'	N/A	Moderate	GOOD	OFF-SITE, MULTI-TRUNKS
33	Malus sp.	8"	16'	14'	N/A	Good	GOOD	OFF-SITE

L 3.0

ISSUE DATE:
02/08/21

LANDSCAPE
IRRIGATION
PLAN

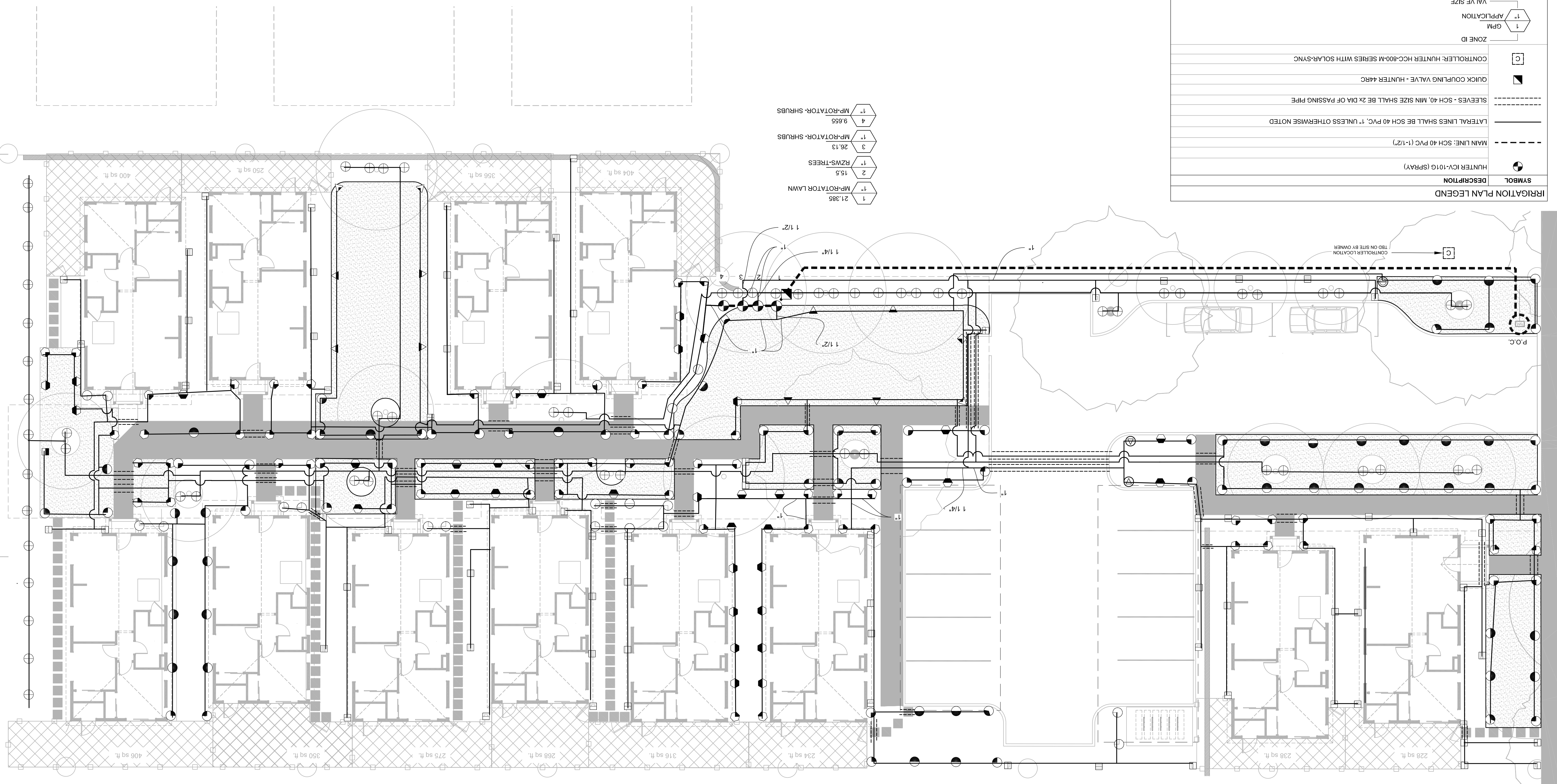
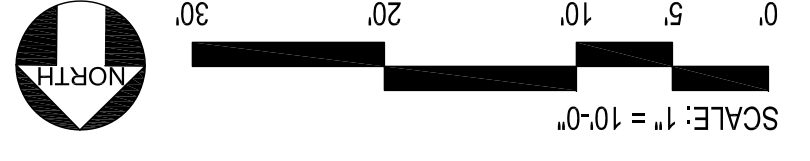
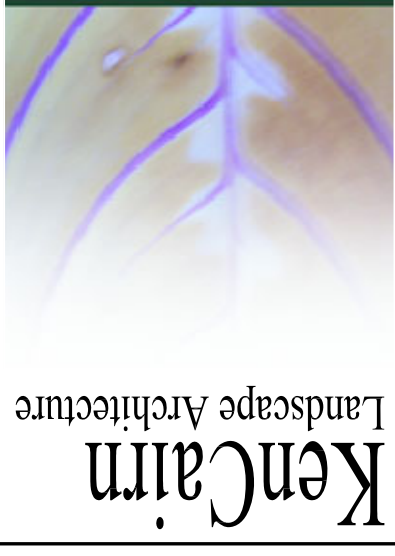
REVISION DATE:
JOB NO. 1921

THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

DRAWN BY:
IC



545 A ST. SITE 3, ASHLAND, OR 97520
541.488.3194
www.kencairnlandscape.com

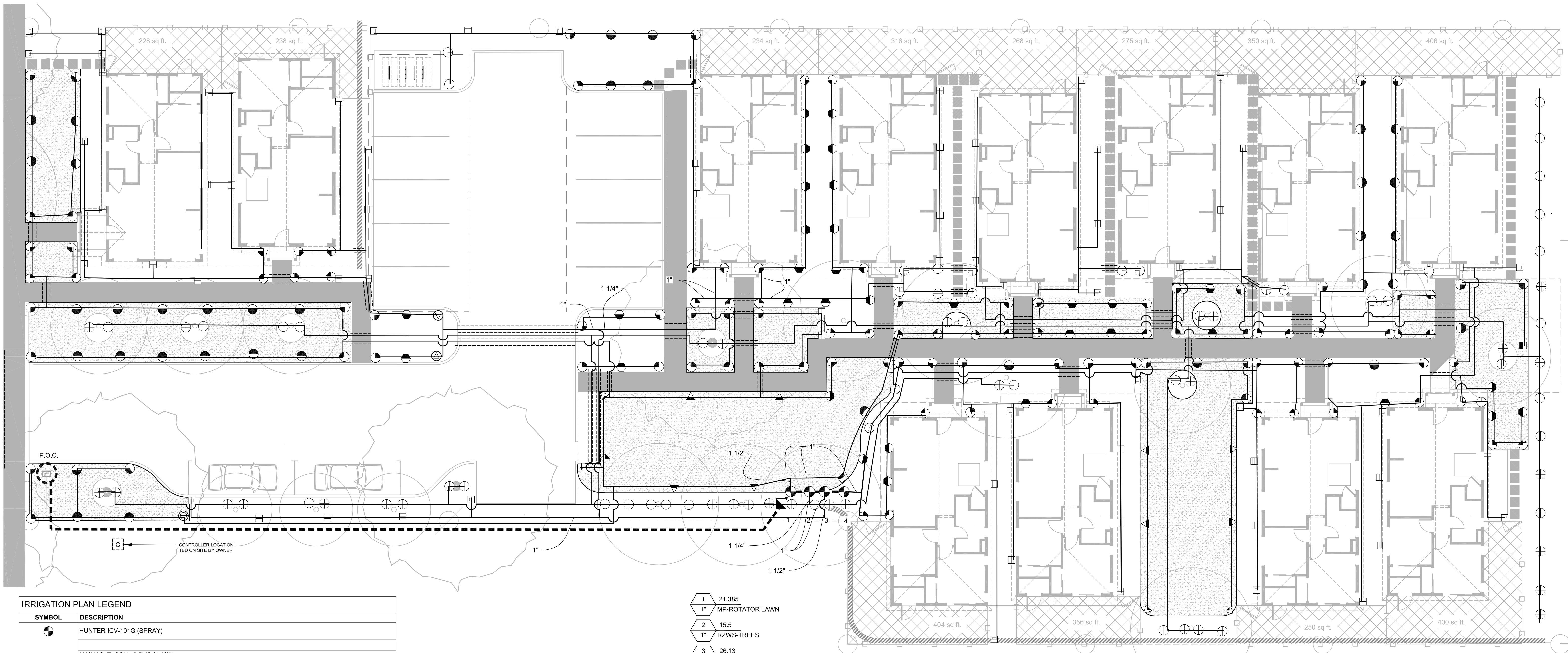


- 1 21,385 MP-ROTATOR LAWN
- 2 15,5 RZWS-TREES
- 3 26,13 MP-ROTATOR-SHRUBS
- 4 9,655 MP-ROTATOR-SHRUBS

SYMBOL		DESCRIPTION	HUNTER ICI-101G (SPRAY)	NOZZLE	FLOW RATE (GPM)	
⊙	⊙	HUNTER PPS30	MP-ROTATOR 800	6"	0.12, 0.3, 0.6	
⊙	⊙	HUNTER PPS40	MP-ROTATOR 1000	8"	0.11, 0.21, 0.44	
⊙	⊙	HUNTER PPS40	MP-ROTATOR 1000	10"	0.135, 0.27, 0.54	
⊙	⊙	HUNTER PPS40	MP-ROTATOR 1000	14"	0.19, 0.38, 0.75	
⊙	⊙	HUNTER PPS40	MP-ROTATOR 2000	19"	0.40, 0.74, 1.47	
⊙	⊙	RZWS	HUNTER RZWS-18-25-CV		0.25	
⊙	⊙	HUNTER	HUNTER PPS-30-CV-F	PRO-ADJUSTABLE	8"	0.44, 0.88, 1.76
⊙	⊙	HUNTER	HUNTER PPS-30-CV-F	PRO-ADJUSTABLE	10"	0.5, 1.0, 2.0

SYMBOL	DESCRIPTION
⊙	HUNTER ICI-101G (SPRAY)
---	MAIN LINE: SCH 40 PVC (1-1/2")
---	LATERAL LINES SHALL BE SCH 40 PVC, 1" UNLESS OTHERWISE NOTED
---	SLEEVES - SCH 40, MIN SIZE SHALL BE 2X DIA OF PASSING PIPE
⊙	QUICK COUPLING VALVE - HUNTER 44RC
⊙	CONTROLLER: HUNTER HCC-800-M SERIES WITH SOLAR-SYNC
⊙	VALVE SIZE
⊙	POINT OF CONNECTION - SEE DETAIL 4/L3.1

SYMBOL	DESCRIPTION
⊙	HUNTER ICI-101G (SPRAY)
---	MAIN LINE: SCH 40 PVC (1-1/2")
---	LATERAL LINES SHALL BE SCH 40 PVC, 1" UNLESS OTHERWISE NOTED
---	SLEEVES - SCH 40, MIN SIZE SHALL BE 2X DIA OF PASSING PIPE
⊙	QUICK COUPLING VALVE - HUNTER 44RC
⊙	CONTROLLER: HUNTER HCC-800-M SERIES WITH SOLAR-SYNC
⊙	VALVE SIZE
⊙	POINT OF CONNECTION - SEE DETAIL 4/L3.1



IRRIGATION PLAN LEGEND

SYMBOL	DESCRIPTION
	HUNTER ICV-101G (SPRAY)
	MAIN LINE: SCH 40 PVC (1-1/2")
	LATERAL LINES SHALL BE SCH 40 PVC, 1" UNLESS OTHERWISE NOTED
	SLEEVES - SCH 40, MIN SIZE SHALL BE 2x DIA OF PASSING PIPE
	QUICK COUPLING VALVE - HUNTER 44RC
	CONTROLLER: HUNTER HCC-800-M SERIES WITH SOLAR-SYNC
	ZONE ID
	GPM
	APPLICATION
	VALVE SIZE
	P.O.C. POINT OF CONNECTION - SEE DETAIL 4/L3.1

- 1 21.385
1" MP-ROTATOR LAWN
- 2 15.5
1" RZWS-TREES
- 3 26.13
1" MP-ROTATOR-SHRUBS
- 4 9.655
1" MP-ROTATOR-SHRUBS

IRRIGATION HEAD KEY

SYMBOL	DESCRIPTION	MODEL ("")	NOZZLE	RAD.	FLOW RATE (GPM)
	1/2" FULL	HUNTER PRS30	MP-ROTATOR 800	6'	0.12, 0.3, 0.6
	3/4" FULL	HUNTER PRS30	MP-ROTATOR 1000	8'	0.11, 0.21, 0.44
	1" FULL	HUNTER PRS40	MP-ROTATOR 1000	10'	0.135, 0.27, 0.54
	1 1/4" FULL	HUNTER PRS40	MP-ROTATOR 1000	14'	0.19, 0.38, 0.75
	1 1/2" FULL	HUNTER PRS40	MP-ROTATOR 2000	19'	0.40, 0.74, 1.47
	RZWS	HUNTER RZWS-18-25-CV			0.25
	1 1/2" FULL	HUNTER PRS-06-PRS-30-CV-F	PRO-ADJUSTABLE	8"	0.44, 0.88, 1.76
	1 1/2" FULL	HUNTER PRS-06-PRS-30-CV-F	PRO-ADJUSTABLE	10"	0.5, 1.0, 2.0



DRAWN BY:
IC

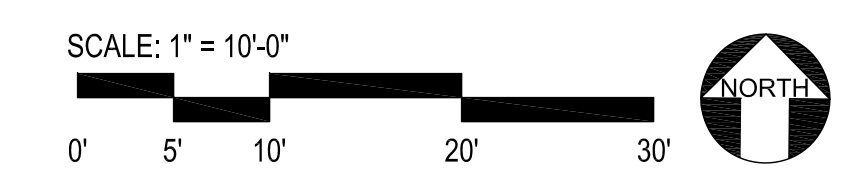
THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

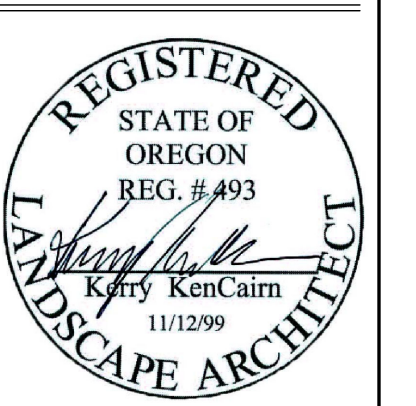
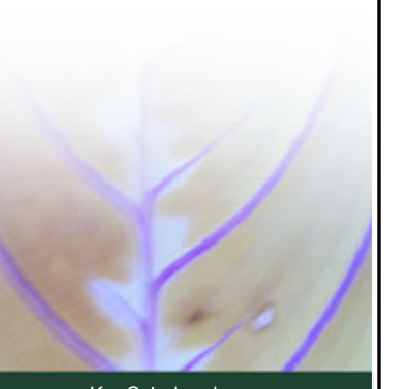
JOB NO. 1921
REVISION DATE

LANDSCAPE IRRIGATION PLAN

ISSUE DATE:
02/08/21

L 3.0





DRAWN BY:
IC

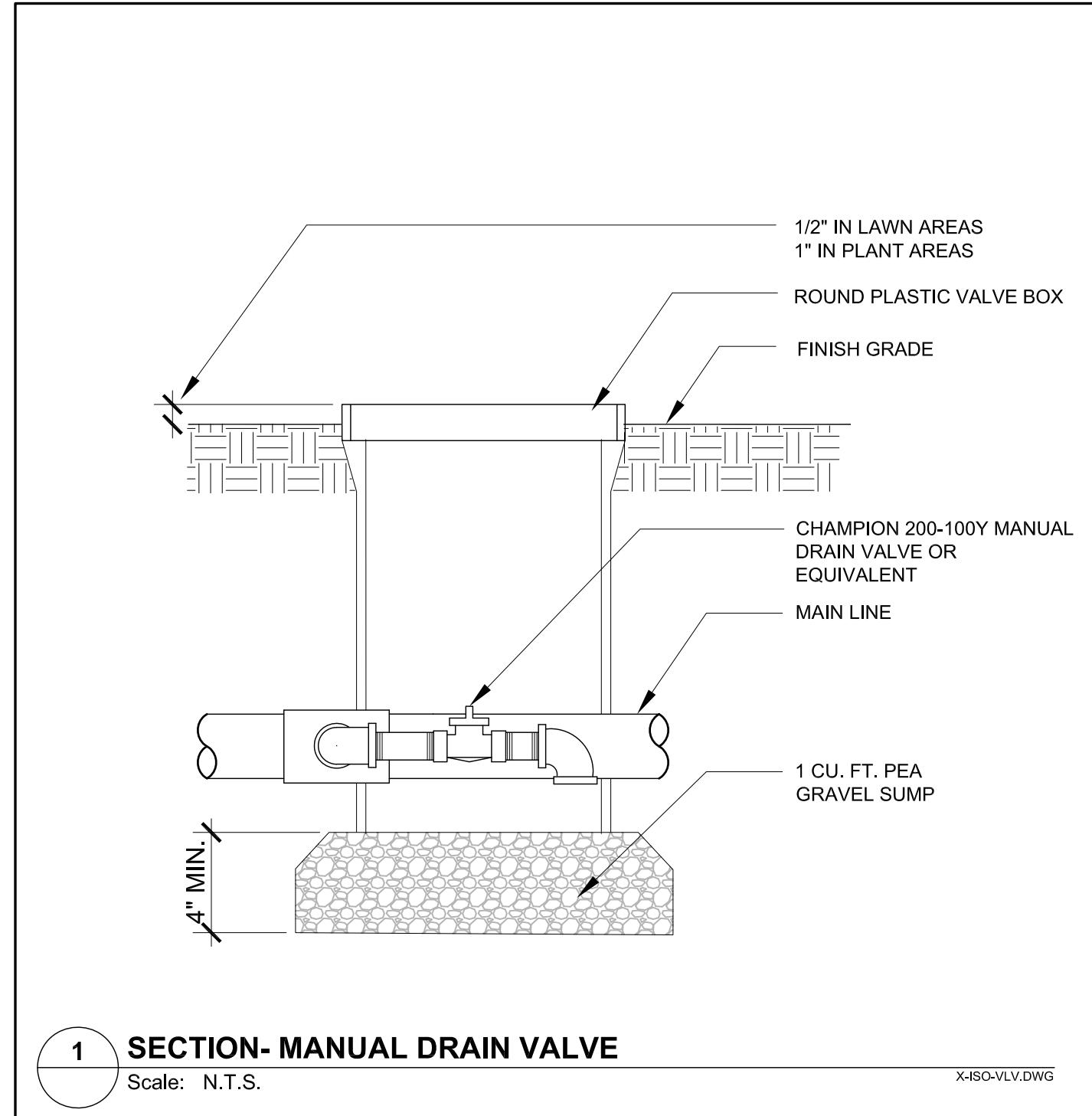
THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

JOB NO. 1921
REVISION DATE

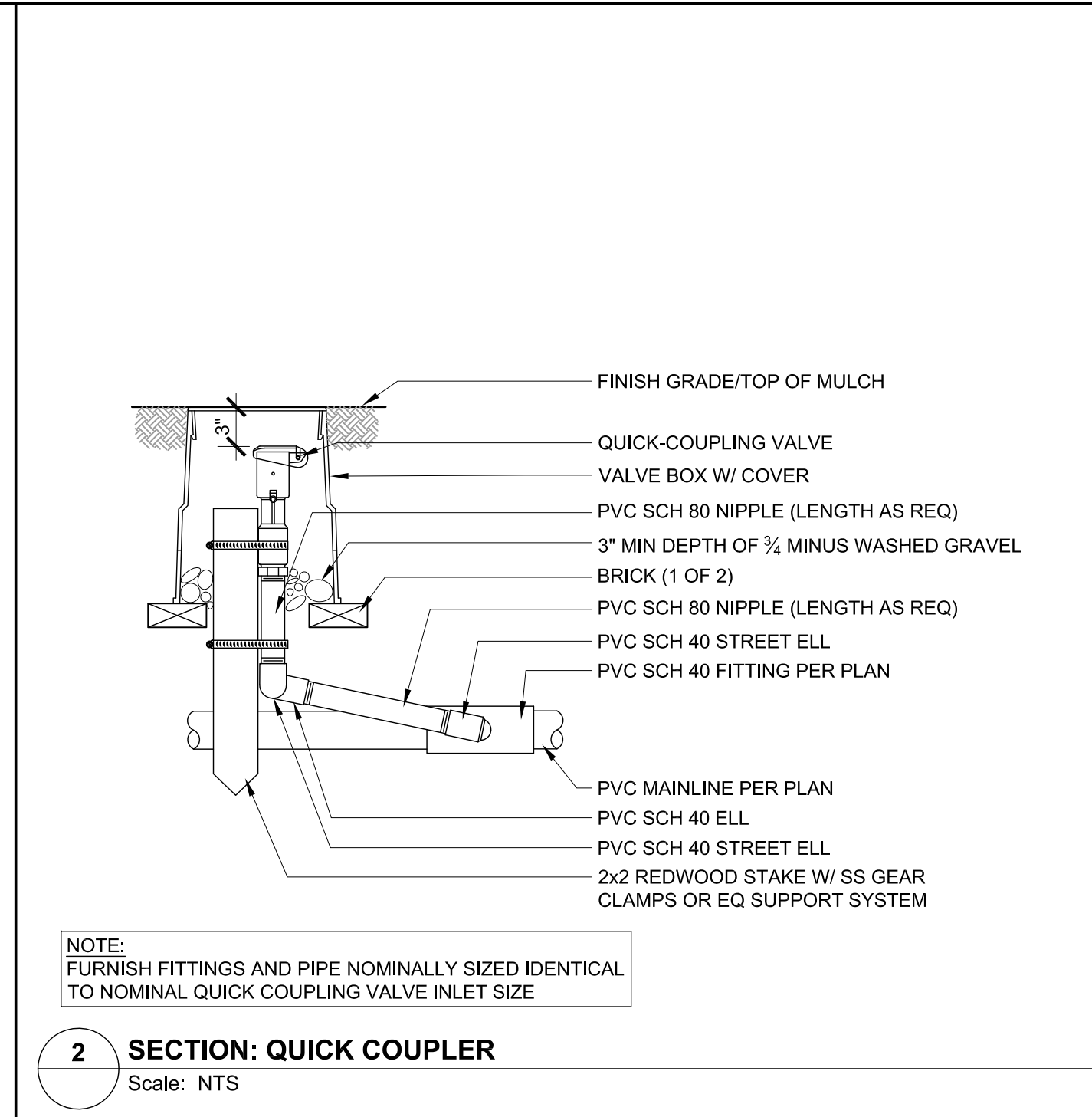
LANDSCAPE
IRRIGATION
DETAILS

ISSUE DATE:
02/08/21

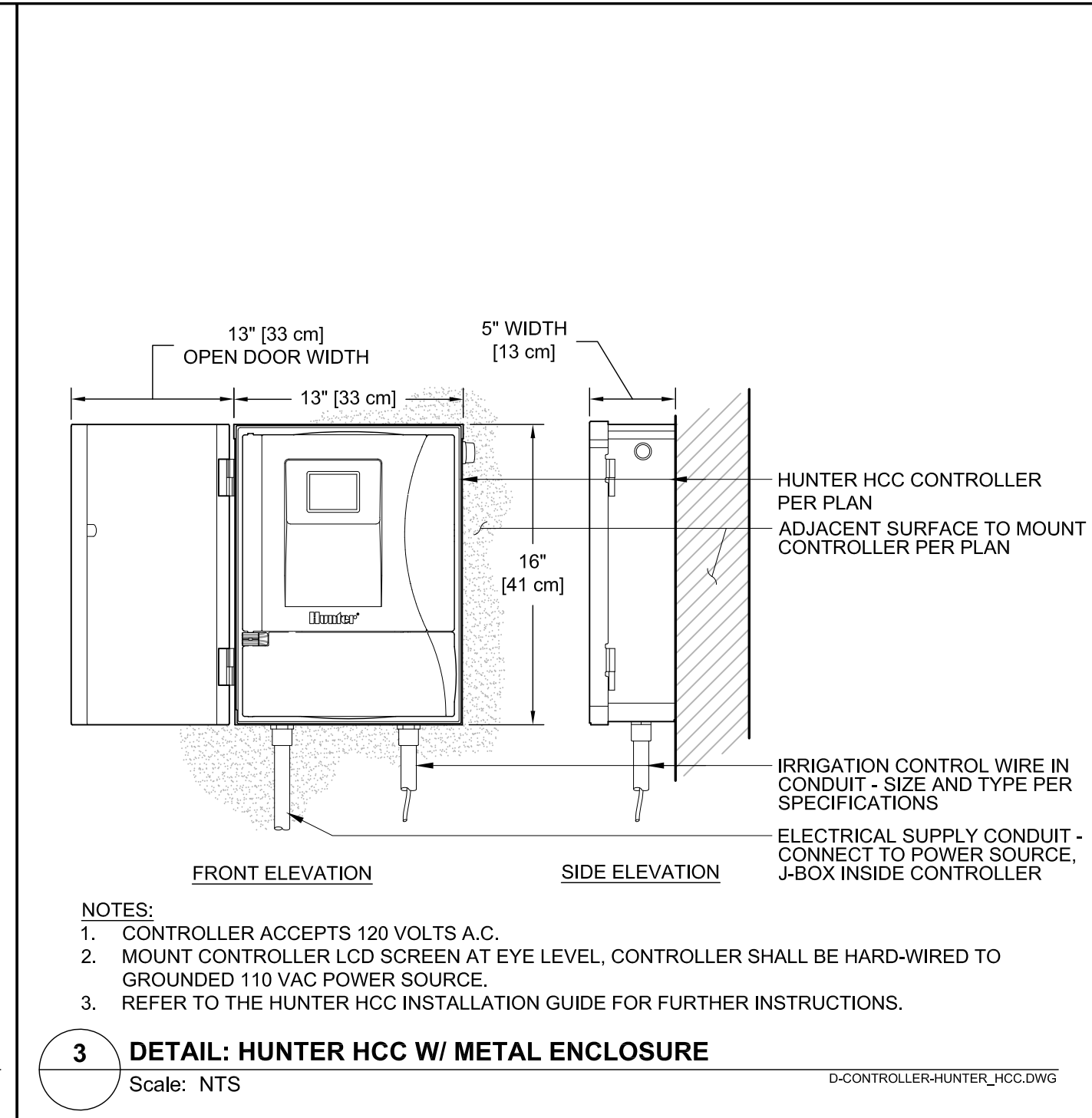
L 3.1



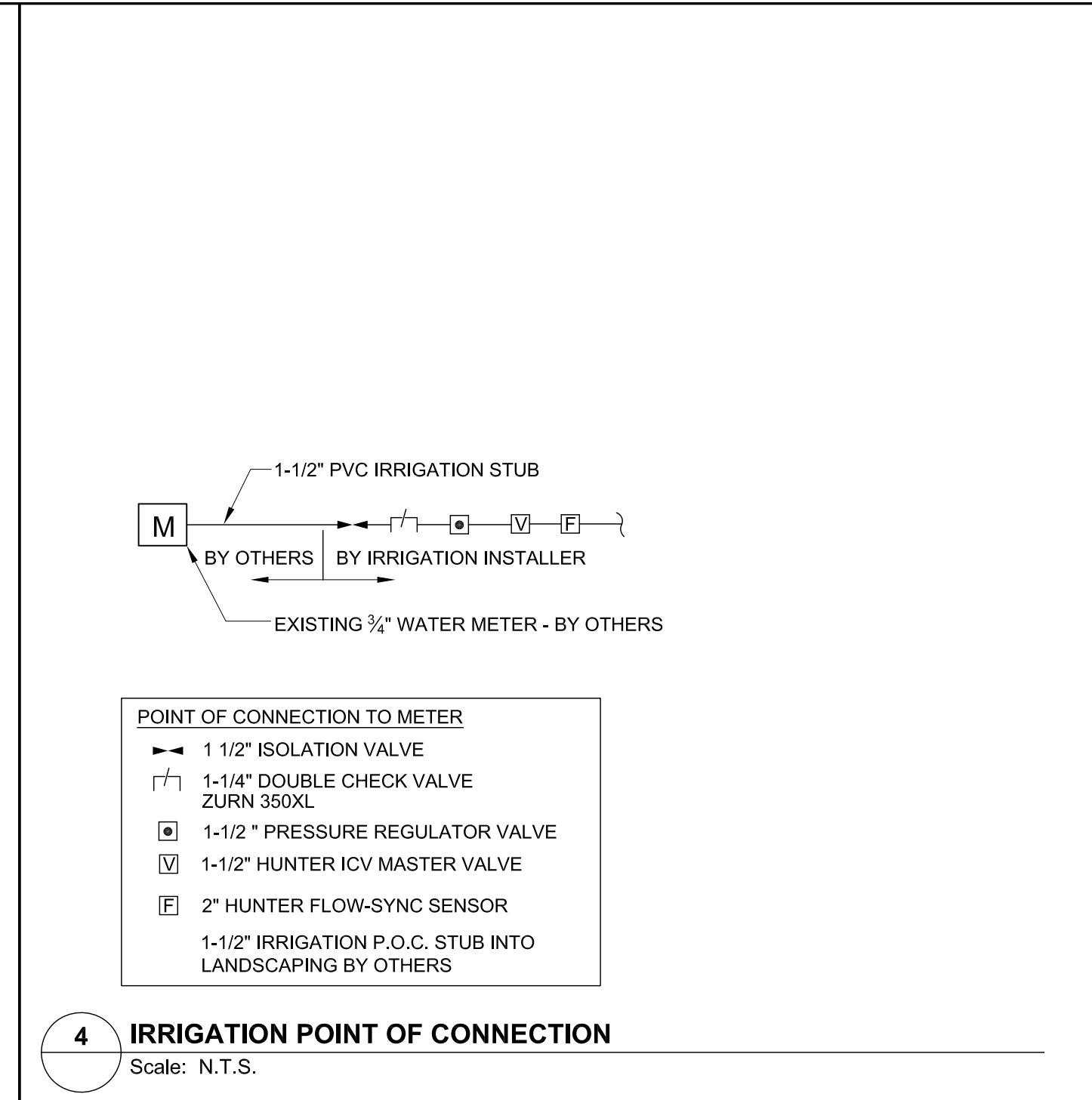
1 SECTION- MANUAL DRAIN VALVE
Scale: N.T.S.



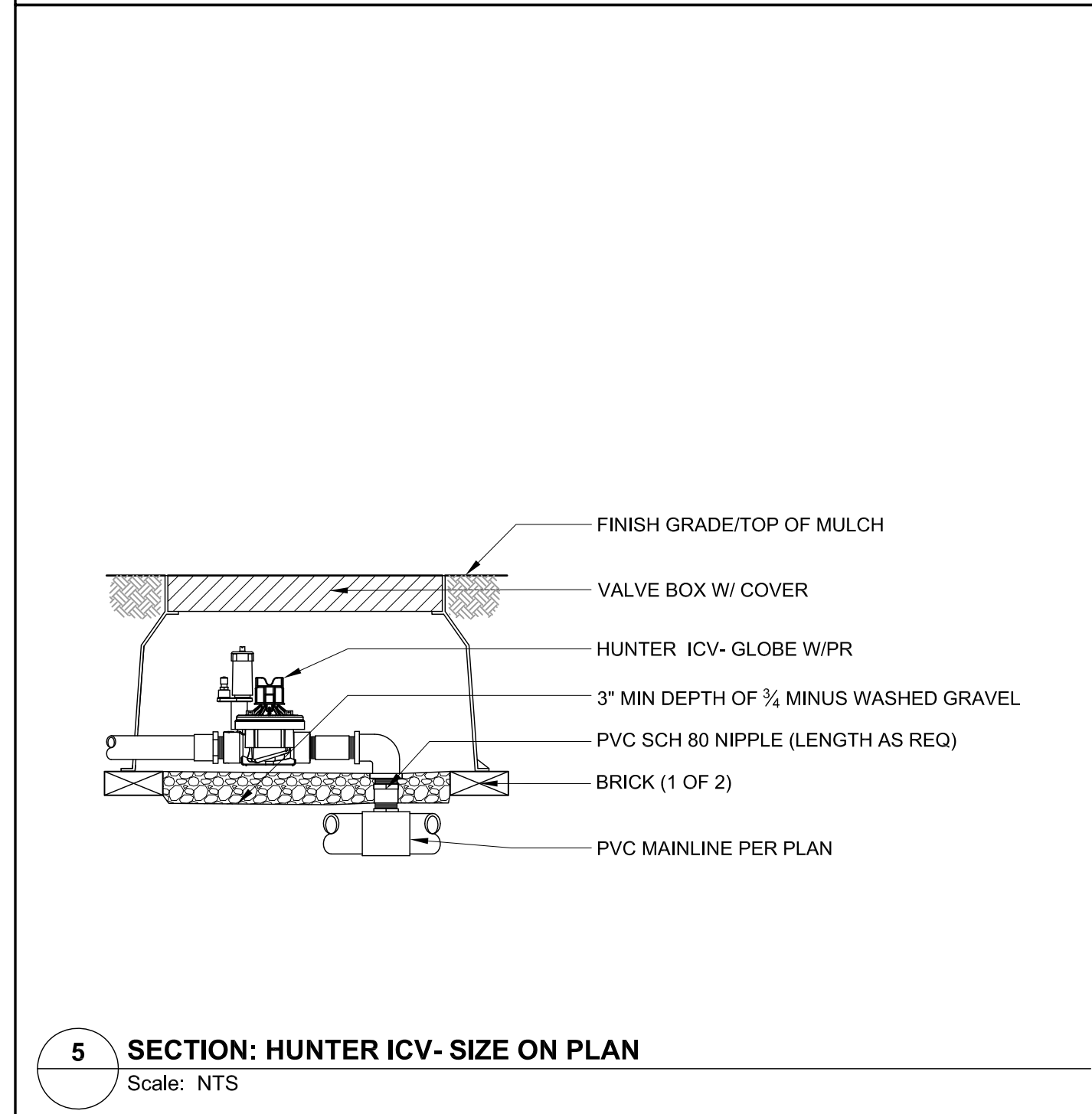
2 SECTION: QUICK COUPLER
Scale: NTS



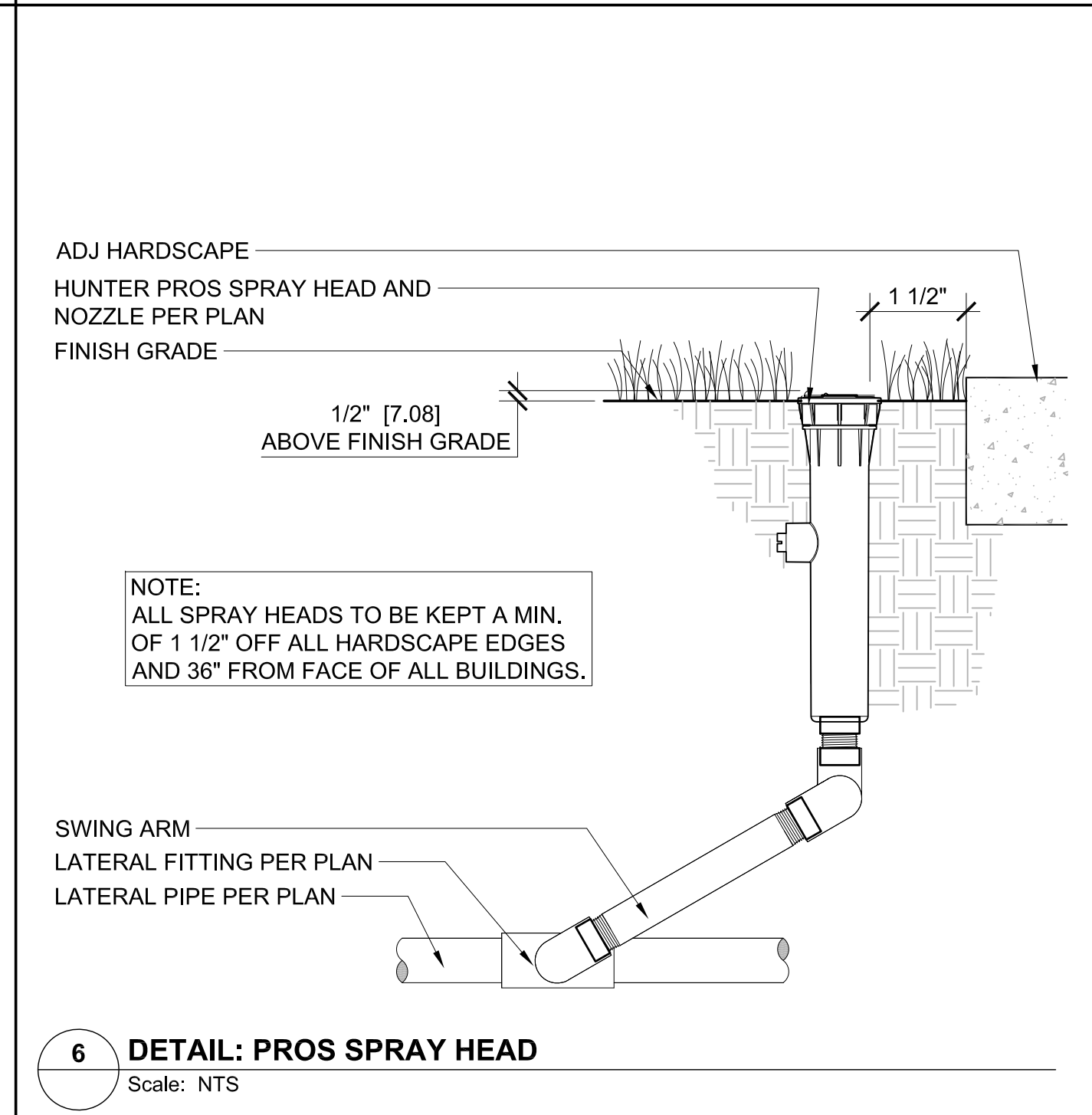
3 DETAIL: HUNTER HCC W/ METAL ENCLOSURE
Scale: NTS



4 IRRIGATION POINT OF CONNECTION
Scale: N.T.S.

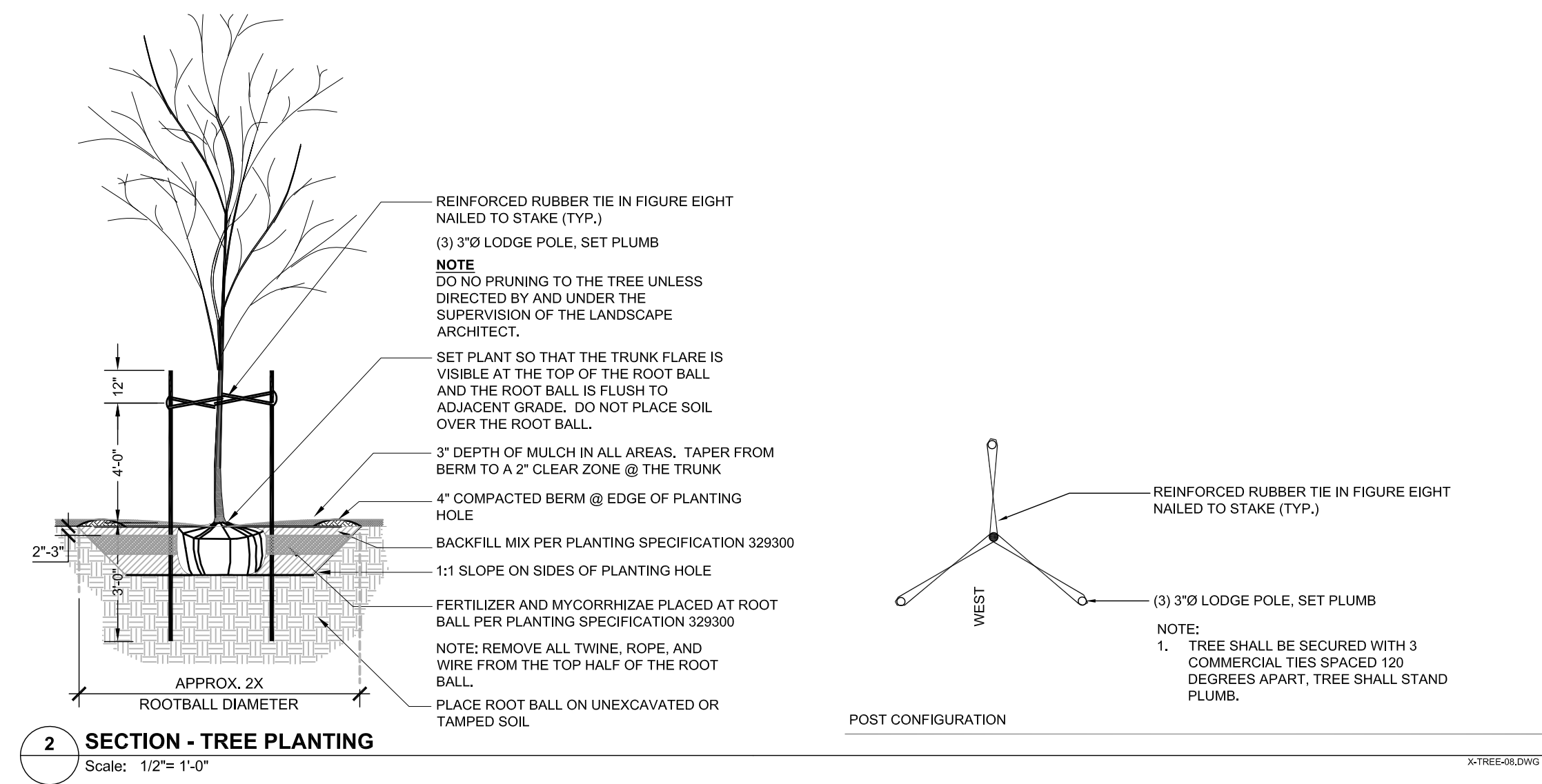


5 SECTION: HUNTER ICV- SIZE ON PLAN
Scale: NTS

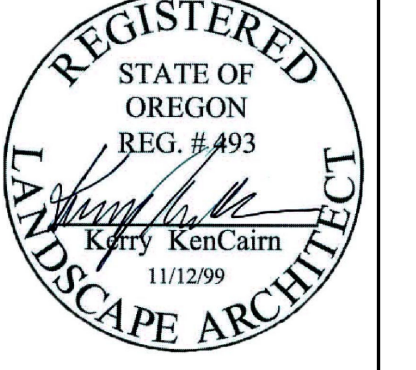
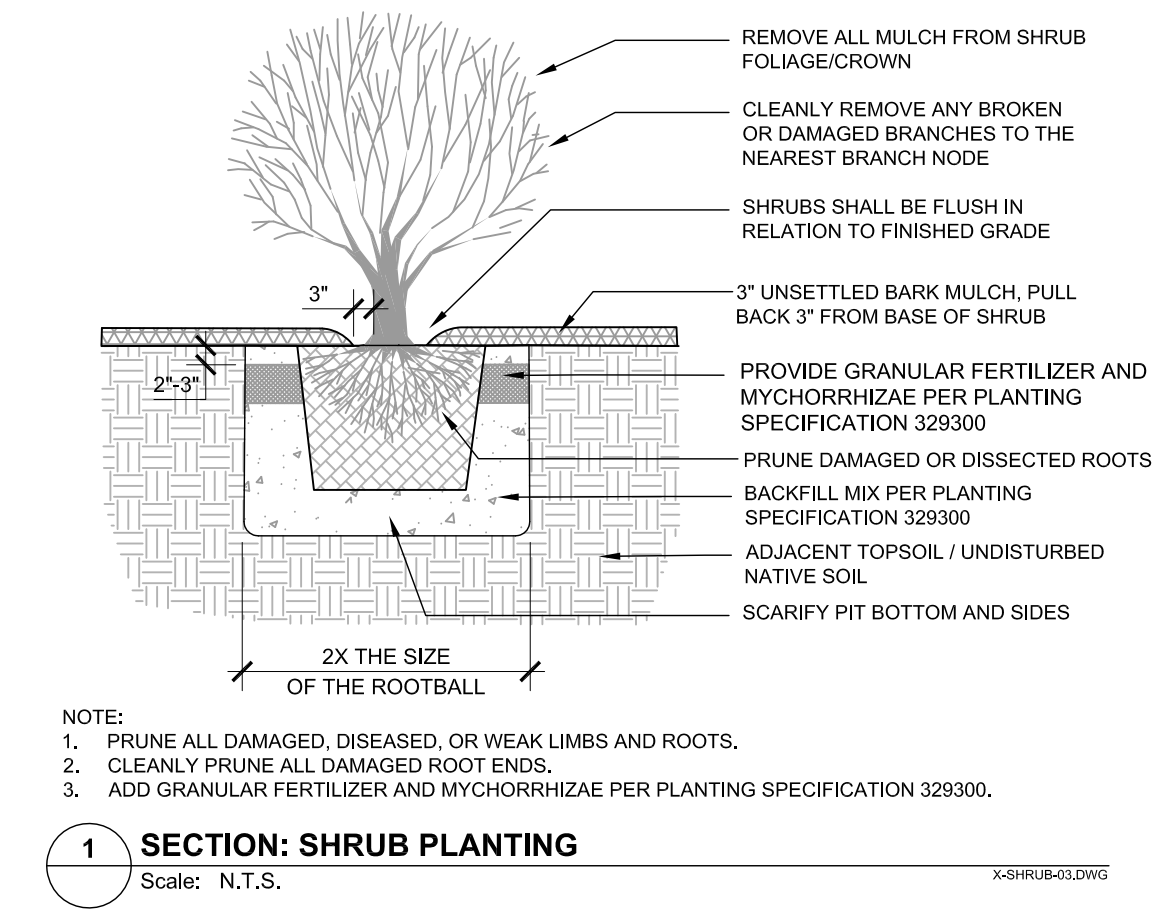
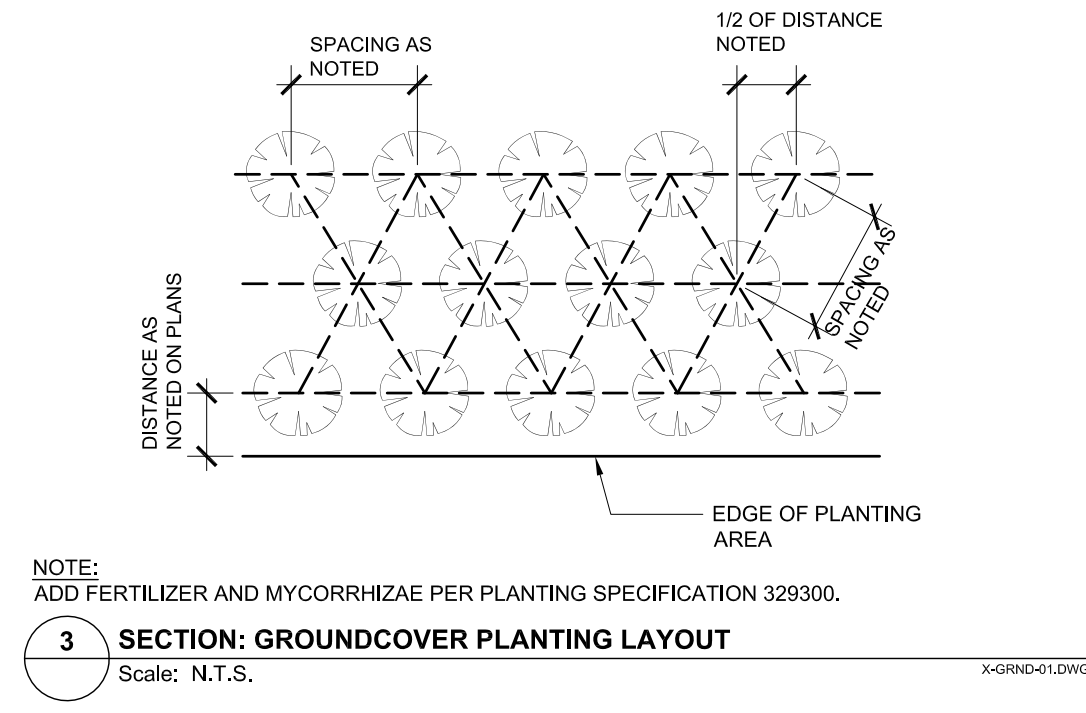


6 DETAIL: PROS SPRAY HEAD
Scale: NTS

- IRRIGATION NOTES**
1. THE CITY OF ASHLAND TO REVIEW AND APPROVE ALL LANDSCAPE RELATED ITEMS PRIOR TO BEGINNING LANDSCAPE INSTALLATION.
 2. REVIEW SPECIFICATION SECTION 328400 FOR ALL ASPECTS OF THE IRRIGATION SYSTEM INSTALLATION.
 3. MAINTAIN AT JOB SITE ONE (1) COPY OF DRAWINGS, SPECIFICATIONS, ADDENDA, AND APPROVED SHOP DRAWINGS, CHANGE ORDERS, AND OTHER PROJECT DOCUMENTS.
 4. RECORD ACTUAL LOCATION OF ALL CONCEALED COMPONENTS, PIPING SYSTEM, CONDUIT AND SLEEVE LOCATIONS. KEEP THIS DOCUMENT CURRENT. DO NOT PERMANENTLY CONCEAL ANY WORK UNTIL REQUIRED INFORMATION HAS BEEN RECORDED, FURNISH TWO (2) COPIES OF RECORD DRAWINGS TO THE OWNER. REDUCE ONE COPY OF RECORD DRAWING TO FIT INSIDE CONTROLLER LID. LAMINATE REDUCED COPY.
 5. ALL WORK SHALL BE INSTALLED BY COMPETENT WORKMEN EXPERIENCED IN TRADE IN A NEAT AND ORDERLY MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.
 6. CONFORM TO ALL PERTINENT CODES AND REGULATIONS. COMPLY WITH THE LATEST RULES OF THE NATIONAL ELECTRICAL CODE AND THE AMERICAN MASTER PLUMBERS CODE.
 7. VERIFY THAT FIELD CONDITIONS ARE AS INDICATED ON DRAWINGS. NOTIFY THE OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE OBSERVED.
 8. NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF ALL SITE OBSERVATION VISITS REQUIRED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE PRESENT AT EACH SITE OBSERVATION VISIT. REQUIRED VISITS INCLUDE: PRESSURE TEST AFTER MAINLINE LAID, AFTER NON-PRESSURIZED LINES PRIOR TO BACKFILL, AND FINAL OPERATION OF ALL IRRIGATION STATIONS INCLUDING HEAD TO HEAD COVERAGE.
 9. IRRIGATION PIPE, HEADS, VALVES, BACKFLOW DEVICE AS NOTED ON LEGEND.
 10. VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
 11. PIPING LAYOUT IS DIAGRAMMATIC ONLY. ROUTE PIPING IN PLANTERS AND AVOID UTILITIES AND STRUCTURES. LAYOUT SHALL FOLLOW AS CLOSELY AS PRACTICAL THE SCHEMATIC DESIGN ON THE DRAWINGS. MAKE NO SUBSTANTIAL CHANGES WITHOUT PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
 12. ALL LATERAL PIPE SHALL BE 1" IN SIZE UNLESS OTHERWISE INDICATED ON THE PLAN.
 13. COORDINATE ALL IRRIGATION EQUIPMENT LOCATIONS WITH OTHER CONTRACTORS. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS ARE ENCOUNTERED.
 14. ALL SPRINKLER HEADS ALONG SIDEWALKS SHALL BE TWO INCHES FROM SIDEWALKS.
 15. PIPE DEPTH - LATERAL LINES - 12 INCH MINIMUM; MAINLINE - 18 INCH MINIMUM.
 16. BOTTOM OF TRENCHES AND BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLODS, AND OTHER SHARP OBJECTS. SNAKE PIPE FROM SIDE TO SIDE AT TRENCH BOTTOM TO ALLOW EXPANSION.
 17. DO NOT INSTALL HEADS UNTIL LINES HAVE BEEN THOROUGHLY FLUSHED AND PRESSURE TESTED.
 18. SHUT OFF VALVES ARE REQUIRED AT EACH POINT OF CONNECTION, VALVE BOX, AND AT EVERY LOCATION WHERE THE MAINLINE PASSES UNDER 20 FEET OF PAVEMENT.
 19. A MANUAL DRAIN MUST BE INSTALLED AT THE LOW SPOT OF EACH ZONE. THE DRAIN SHOULD BE A BRASS MANUAL ANGLE VALVE WITH "T" STEM. DRAINS LOCATED ON LATERAL LINES SHALL BE 1" SIZE.
 20. COORDINATE WIRE AND CONDUIT LOCATIONS BETWEEN ELECTRIC CONTROL VALVES AND THE ELECTRIC CONTROLLER.
 21. UPON COMPLETION OF ALL SYSTEMS, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST TO DETERMINE THAT WATER IS BEING APPLIED CORRECTLY AND ADEQUATELY TO ALL PLANTINGS. CHANGE ANY HEADS, NOZZLES, OR ORIFICES AS MAY BE REQUIRED TO PROVIDE COVERAGE AS INDICATED ON THE DRAWINGS. PROMPTLY ADJUST HEADS TO KEEP WATER OFF BUILDINGS AND STRUCTURES WITH MINIMAL SPRAY ON PAVED SURFACES.
 22. ALL SPRAY HEADS ADJACENT TO HARDSCAPE TO BE ON 6" POP-UPS. ALL OTHER SPRAY HEADS TO BE ON 12" POP-UPS.
 23. SLEEVINGS: CONTRACTOR SHALL VERIFY SLEEVING LOCATIONS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE. SLEEVES ARE TO BE PROVIDED BY GENERAL CONTRACTOR.
 24. COORDINATE THE INSTALLATION OF ELECTRICAL SERVICE AND CONDUIT TO THE LOCATION OF THE PROPOSED IRRIGATION CONTROLLER.



SPACING	X FACTOR
12" O.C.	1.156 (X AREA)
18" O.C.	0.518
24" O.C.	0.288
30" O.C.	0.184
36" O.C.	0.128
48" O.C.	0.072



DRAWN BY:
IC

THE COTTAGES AT WEST VILLAGE
OTIS STREET
ASHLAND, OR, 97520

JOB NO. 1921
REVISION DATE

LANDSCAPE
PLANTING
DETAILS

ISSUE DATE:
02/08/21

L 4.1